

March 4, 2019

Email: [REDACTED]

Dear [REDACTED]

Re: Request for Access to Information under Part II of the Access to Information and Protection Privacy Act (the ATIPP Act, 2015)

On February 4, 2019, the City of St. John's received your request for access to the following information:

All building files regarding 47 Harvey Road.

As required by Section 8(2) of the ATIPP Act, I have severed information that is unable to be disclosed and have provided you with as much information as possible. The enclosed information has been redacted as per Section 40:

Disclosure harmful to personal privacy

40. (1) The head of a public body shall refuse to disclose personal information to an applicant where the disclosure would be an unreasonable invasion of a third party's personal privacy.

Please be advised that you may ask the Information and Privacy Commissioner to review the processing of your access request, as set out in Section 42 of the ATIPP Act. A request to the Commissioner must be made in writing within 15 business days of the date of this letter or within a longer period that may be allowed by the Commissioner:

Office of the Information and Privacy Commissioner
2 Canada Drive; P. O. Box 13004, Stn. A, St. John's, NL. A1B 3V8
Telephone: (709) 729-6309; Facsimile: (709) 729-6500

You may also appeal directly to the Supreme Court Trial Division within 15 business days after you receive the decision of the public body, pursuant to Section 52 of the Act.

If you have any further questions, please feel free to contact me by telephone at 576-8429 or by e-mail at kcutler@stjohns.ca.

Yours truly,



Kenessa Cutler
ATIPP Coordinator

ST. JOHN'S

47 Harvey Rd.

B1970021



ST. JOHN'S MUNICIPAL COUNCIL APPLICATION FOR BUILDING PERMIT (PLEASE PRINT)

B-1-97-0021

DATE JAN 7 97

PERMIT NUMBER _____

TO ERECT 5052 LONG IS HILL
 TO ADD
 TO ALTER
 TO DEMOLISH

LOT NO. _____ HOUSE NO. 50-52

LOT DESCRIPTION: INTERIOR CORNER CUL DE SAC

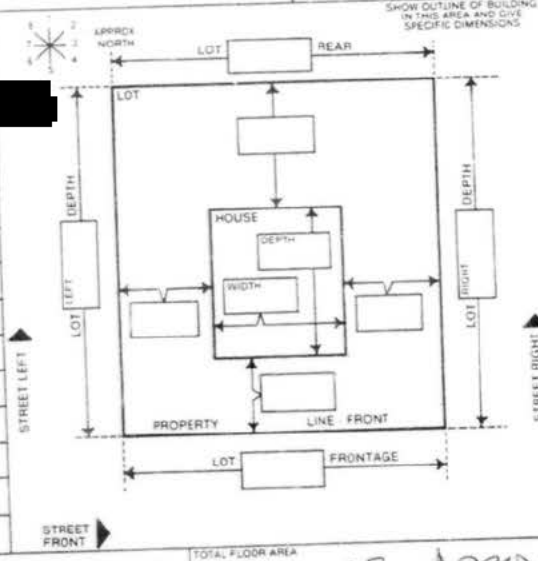
OWNER
 NAME: [REDACTED]
 ADDRESS: [REDACTED]
 CITY: [REDACTED] POSTAL CODE: [REDACTED] PHONE NO: [REDACTED]

APPLICANT
 NAME: [REDACTED]
 ADDRESS: [REDACTED]
 CITY: [REDACTED] POSTAL CODE: [REDACTED] PHONE NO: [REDACTED]

DESIGNER
 NAME: COLETTE MAD ARCHITECT
 ADDRESS: [REDACTED]
 CITY: [REDACTED] POSTAL CODE: [REDACTED] PHONE NO: [REDACTED]

CONSTRUCTOR
 NAME: K S P CONTRACTORS
 ADDRESS: 101 GARRY ST
 CITY: ST. JOHN'S POSTAL CODE: [REDACTED] PHONE NO: [REDACTED]

FIELD REVIEW BY
 NAME: COLETTE MAD
 ADDRESS: [REDACTED]
 CITY: [REDACTED] POSTAL CODE: [REDACTED] PHONE NO: [REDACTED]



N/C
3/3
RMK

LOT AREA: 1445 SF. BUILDING AREA: ± 1900 SF FOOTPRINT TOTAL FLOOR AREA: 5900 SF. APPROX.

USE: 2 RENTAL UNITS INCL HOME OCCUPATION ZONE: CC17 EST. COST BUILDING: #220000 EST. COST LOT: #31500

TYPE OF HEATING: ELECTRIC HOT WATER HOT AIR OTHER

AUXILIARY HEATING: FIREPLACE PREFABRICATED STOVE OTHER

THE OWNER OR AUTHORIZED AGENT OF THE OWNER NAMED IN THE ABOVE APPLICATION FOR A PERMIT HERETO ATTACHED, HEREBY CERTIFY, REPRESENT AND WARRANT TO THE CITY OF ST. JOHN'S THAT THE VARIOUS ANSWERS MADE TO THE QUESTIONS IN THE SAID APPLICATION ARE, TO MY PERSONAL KNOWLEDGE, TRUE AND ACCURATE, AND THAT THE PLANS AND SPECIFICATIONS AND BLOCK PLAN SUBMITTED WITH THE SAID APPLICATION HAVE REFERENCE TO THE BUILDING OR BUILDINGS DESCRIBED IN THE SAID APPLICATION AND ACCURATELY SHOW THE DIMENSIONS AND AREA OF THE LANDS AND PROPOSED BUILDING OR BUILDINGS IN RELATION TO THE STREET AND LOT LINES.

I, WE AGREE TO BUILD ACCORDING TO THE PLANS AND SPECIFICATIONS AND BLOCK PLAN HERewith SUBMITTED, AND AGREE TO COMPLY WITH ALL BY-LAWS AND REGULATIONS, IT BEING EXPRESSLY UNDERSTOOD THAT THE ISSUING OF A PERMIT DOES NOT RELIEVE THE APPLICANT FROM COMPLYING WITH ALL SAID BY-LAWS AND REGULATIONS, THOUGH NOT CALLED FOR IN THE SPECIFICATIONS OR SHOWN ON PLANS SUBMITTED; THE APPLICANT FURTHER AGREES THAT IF A PERMIT IS REVOKED FOR ANY CAUSE OR IRREGULARITY OR NON-COMFORMANCE OF THE SAID BY-LAWS OR REGULATIONS, THAT IN CONSIDERATION OF THE ISSUING OF THE PERMIT, ALL CLAIMS ARE WAIVED ARISING THEREFROM AGAINST THE CITY OF ST. JOHN'S. IT IS ALSO AGREED THAT IF THE OWNER OR BUILDER FAILS TO OBTAIN THE STREET GRADE FROM THE CITY OF ST. JOHN'S THE OWNER THEREBY FORFEITS AND WAIVES ALL CLAIM TO DAMAGES DUE TO A CHANGE OF SAID GRADE AFFECTING THE BUILDING REFERRED TO IN THIS APPLICATION.

WITNESS: [REDACTED] SIGNATURE OF APPLICANT: [REDACTED]

(WITNESS MUST BE AN EMPLOYEE OF THE BUILDING DEPT. OF THE CITY OF ST. JOHN'S)

THE FOLLOWING TO BE COMPLETED BY THE BUILDING DEPT.:

DOLLAR VALUE EXCLUSIVE OF LAND _____ OCCUPANCY PERMIT REQUIRED _____ ZONE _____

REFERENCE DOCUMENTS _____

LIST OF DRAWINGS FILED (INDICATE NO. OF COPIES):

BLOCK PLAN _____ MECHANICAL DRAWINGS _____

SURVEY _____ ELECTRICAL DRAWINGS _____

ARCHITECTURAL DRAWINGS (PAGES) _____ SPECIFICATIONS _____

STRUCTURAL DRAWINGS (PAGES) _____ SOIL TEST REPORT _____

OTHERS _____

RECEIVING CLERK _____ DATE RECEIVED _____



47 Harvey Rd.





47 Harvey Rd.



colette nap architect

crosbie building
tel 754-5745

crosbie place

po box 1124

stn c

st john's

nt

a1c 5m5
fax 754-5745

fax transmittal

to BUILDINGS DEPT.
RICHARD PARSONS

attention

fax number

576-8160

date

JAN 8 96

time

project

page 1 of

NAP - CROSBIE BLDG. 6

message

AS REQUESTED.





National Research Council
Canada

Conseil national de recherches
Canada

Institute for
Research in Construction

Institut de
recherche en construction

RECEIVED DEC 13 1996

NRC-CNRC

TO/Destinataire : Colette Nap	FAX : 709-754-5745 Tel/tél. :
FROM/Expéditeur : John C. Haysom, P. Eng. Canadian Codes Centre - Centre canadien des codes NRC - CNRC Ottawa, Canada, K1A 0R6	No. of Pages: Nombre de pages: Date: December 12, 1996 FAX : (613) 952-4040 Tel/tél. : (613) 993-0043

Message:

Ms. Nap:

If I properly understand the sketches that you FAXed to me, the area designated "Study" is indeed a mezzanine and need not be considered a storey according to Sentence 9.10.4.1.(2) of the 1995 NBC since it is less than 40% of the floor area of the storey below and it is visually open to the storey below.

The views expressed herein are those of the staff of the Canadian Codes Centre of the Institute for Research in Construction who assist the Committees which are responsible for the preparation of the National Building Code. These views should not be considered as official interpretations of legislated requirements based on the National Building Code of Canada because the final responsibility for an official interpretation rests with the authority having jurisdiction.

DOCUFAX

colette nap architect

crosbie building
tel 754-5745

crosbie place

po box 1124

stn c

st john's

nt

a/c 5m5
fax 754-5745

DELIVERED DEC 12 1996
DELIVERED DEC 12 1996

fax transmittal

to

Construction Code Centre
Ottawa

attention

John Haysom

fax number

1 613 952-4040

date

Dec 12 1996

time

project

Nap / Crosbie Building

page 1 of

4

message

Dear John

As we discussed yesterday afternoon, would you please review these diagrams and let me know if I am correct in assuming that the mezzanine floor would not be calculated in determining building height. I am interpreting parts 3.2.1.1.(3) and/or 9.10.4.1(1),(2) of the 1995 National Building Code of Canada.

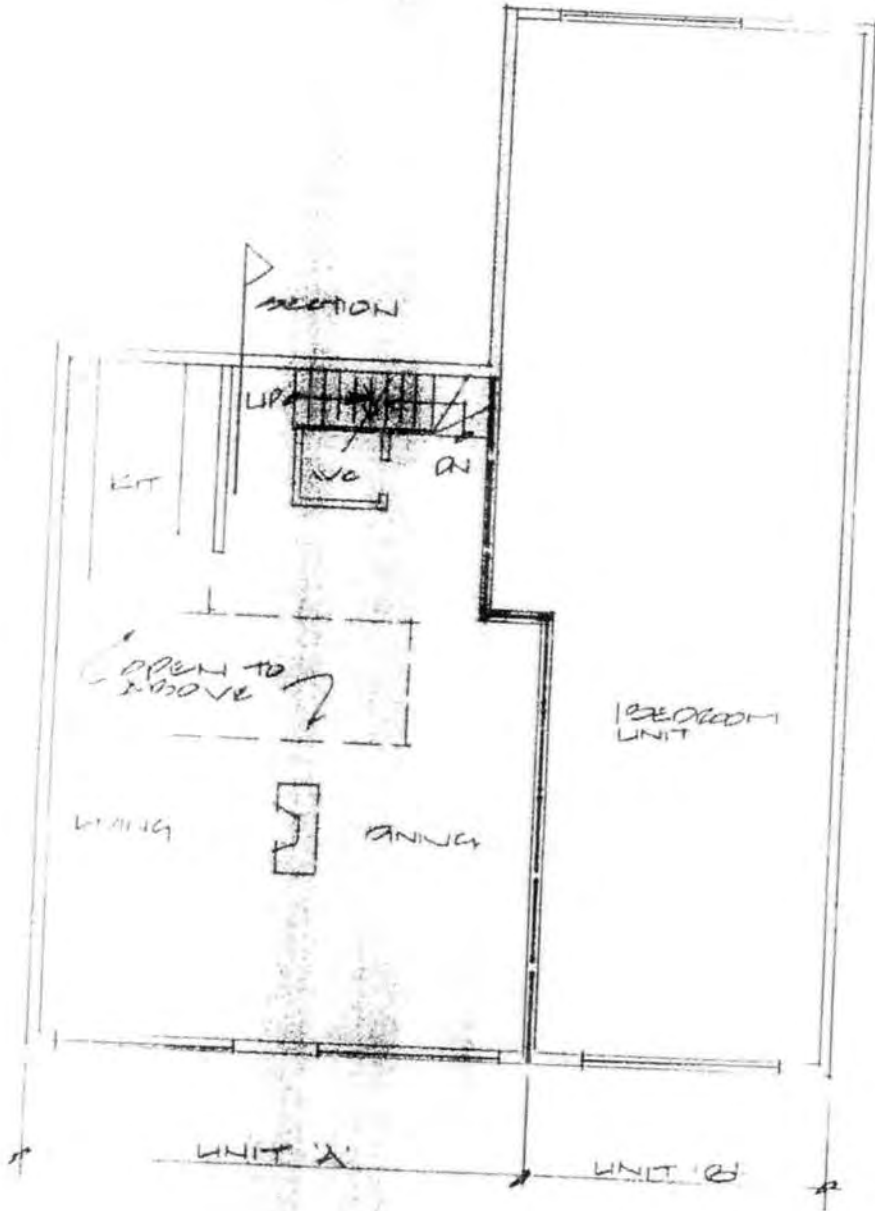
If I am incorrect in my assumptions, please call me so I may re-design to make this work.

Thank-you for your time.

Sincerely



Colette

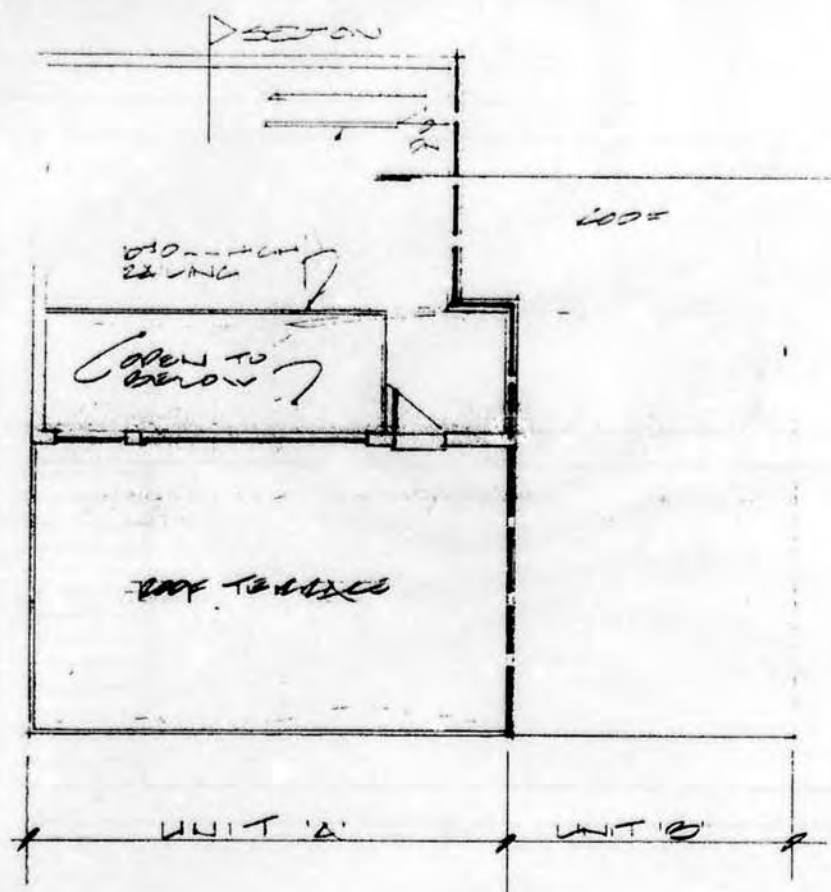


ONE FLOOR BELOW MEZZANINE @ 11:00

colette nap architect

p o box 1124 stn c st john's nf atl 5m5 784-8788

PLC 11 516



1. 2000
 2. 2000
 3. 2000
 4. 2000
 5. 2000
 6. 2000
 7. 2000
 8. 2000

MEZZANINE / ROOF LEVEL @ 1:00

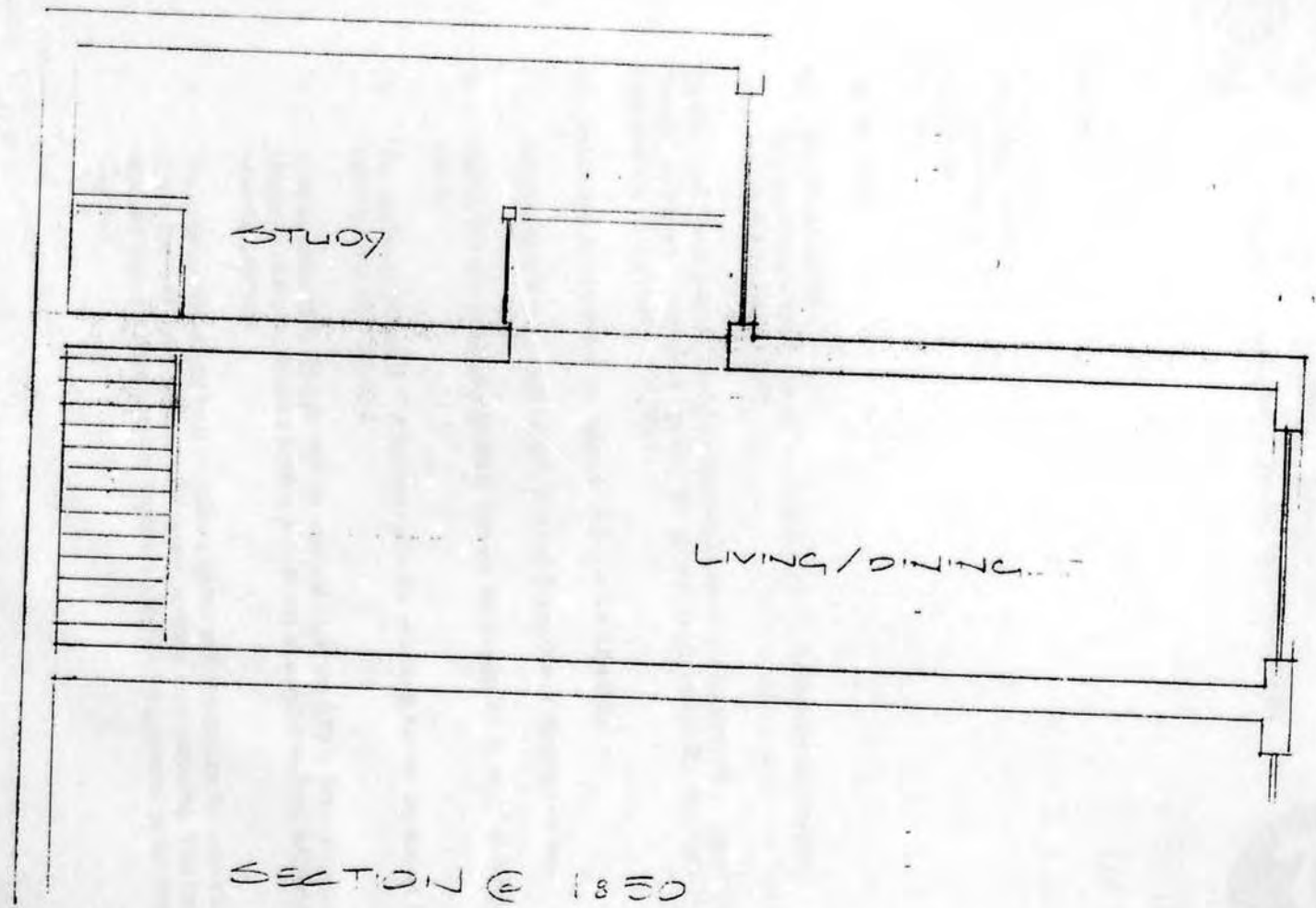
colette nap architect
 p o box 1124 stn c st john's nf a1c 5m5 754-5745

DEC 1 1997

01/08/1997 14:27 789-754-4714

MURRAY INDUSTRIAL

PAGE 05



colette nap architect
p o box 1124 st. louis, mo 63106 754.5746

Section



City Of St. John's

P.O. Box 908, St. John's, NF, Canada A1C 5M2 (709) 576-8600



December 13, 1996

Ms. Colette Napp
Colette Napp Architect
P. O. Box 1124, Stn "C"
St. John's, NF.
A1C 5M5

Dear Ms. Napp:

Re: **File #96-00488 (B-17-L.13)**
Proposed Mixed Use Building (2 Dwelling Units & Architectural Practice)
Civic #50-52 Long's Hill

The above referenced proposal has been reviewed by the City's Department of Engineering and Planning and appears capable of meeting the general requirements for development in the Commercial Central Mixed (CCM) Zone.

This project may be considered for approval subject to the following:

1. Submission of a recent legal survey plan and description of the proposed site.
2. Submission of a site plan accurately showing the location of the building and driveway access.
3. The applicant/developer will be responsible for extending the service laterals from the mains into the lot if required.
4. A Street Excavation Permit must be obtained from the City's Street Inspector at the Municipal Depot on Blackler Avenue prior to any excavation work occurring within the street right-of-way.
5. The applicant/developer must complete a Permit to Connect form for connection to the City's water and sewer systems prior to any servicing work occurring. This form can be obtained from the Department of Engineering and Planning located on the third floor of City Hall.

.../2

WORKING TOGETHER FOR A BETTER CITY



"Page 2"

December 13, 1996

Ms. Colette Napp

Re: **File #96-00488 (B-17-L.13)**

Proposed Mixed Use Building (2 Dwelling Units & Architectural Practice)

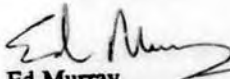
Civic #50-52 Long's Hill

6. All requirements of the Commercial Central Mixed (CCM) Zone, as outlined in Section 10.22 of the St. John's Development Regulations, are to be complied with.
7. All requirements of the Department of Building and Property Management are to be complied with.

Please be advised that no development should take place until final approval has been granted and all required permits have been issued.

Should you have any questions pertaining to this matter, please contact the Department of Engineering and Planning at 576-8389 or 576-8430.

Yours truly,


Ed Murray
Development Officer

EM/tb

pc Ms. Carol Kirkland - Supervisor of Inspection Services ✓



City Of St. John's

P.O. Box 908, St. John's, NF, Canada A1C 5M2 (709) 576-8600



1997 01 29

Colette Nap [REDACTED]
P.O. Box 1124, Station C
St. John's, NF
A1C 5M5

Dear Sir/Madam:

Re: **50-52 Long's Hill**
2 Dwellings & Home Occupation
File # B-1-97-0021

This letter will serve to confirm that your application for the above noted property will be acknowledged at Council's regular meeting of **1997-01-27**.

Should Council approval be granted, it would be subject to the following:

1. That floor assembly at the underside of common exit corridor shall be separated from the remainder of the building by a fire separation having a fire resistance rating of not less than one hour to comply with Sentence 9.10.9.14(3) of the 1995 National Building Code of Canada.
2. That lock design for wrought iron gate shall be reviewed by the inspector to determine acceptability.
3. That building plans shall be submitted to the Department of Government Services and Lands, Government Service Centre for Building Accessibility approval before a permit is issued.
4. That mezzanines shall not be considered as storeys for the purpose of determining building height where they occupy an aggregate area of less than 40% of the floor area of the storey in which they are located provided the space above the mezzanine floors and the floor below them have no visual obstruction more than 1070mm above such floors. Sentence 9.10.14.1(2) of the 1995 National Building Code of Canada. To comply with this requirement no partition over 1070mm are permitted below mezzanine floor - revision required.

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5. That excavation material shall not be stockpiled on street or sidewalk surface. It is the responsibility of the owner/contractor to ensure that the street & sidewalk surface is maintained free of excavated material from trucking, which could cause accident hazards, or has the potential of causing a blocking in the catch basin or storm system. Excavation material on street or sidewalk can be removed by the City at the owner/contractor's expense.
6. That drainage from roof surface and surface drainage shall not be discharged directly or indirectly onto a sidewalk, walkway, driveway, stairway or an adjoining property nor in such a manner as to cause soil erosion, to comply with Section 8.2 of the City of St. John's Residential Property Standards By-Law.
7. That plans for future commercial development/renovations shall be submitted to this Office for approval.
8. That the Building Inspector shall check in field during construction to ensure that all life safety provisions have been taken to protect the public as per Section 8.1 of the 1995 National Building Code of Canada.
9. Office Occupancy - that portable fire extinguishers shall be installed in conformance with Section 6.2 of the 1995 National Fire Code of Canada.
10. That door between garage and dwelling unit shall be tightfitting and weatherstripped to provide an effective barrier against the passage of gas and exhaust fumes and shall be fitted with a self-closure as per Article 9.10.13.15 of the 1995 National Building Code of Canada.
11. (a) That if the basement floor or inside grade is greater than 1.22 m (4'), but less than 2.15 m (7') in height below finished grade then the foundation wall must be laterally supported as per Table 9.15.4.1, Article 9.15.4.2. and Subsection 9.23.6 of the 1995 National Building Code of Canada.

(b) That if the basement floor or inside grade is greater than 2.15 m (7') below grade than foundation must be designed and approved by a Professional Engineer.
12. That roof truss members shall not be notched, drilled or otherwise weakened unless such notching or drilling is allowed for in the design of the truss as per Article 9.23.5.5 of the 1995 National Building Code of Canada.

13. That notching and drilling of floor and ceiling framing members, plates and wall stud shall be in conformance with Subsection 9.23.5 of the 1995 National Building Code of Canada.
14. That lintels shall be designed and installed in conformance with Wood Lintel Span Table A-13 to A-20 of the 1995 National Building Code of Canada.
15. That a minimum frost cover of 1.2 m (4') shall be provided for exterior foundation measured from grade to the base of the foundation footing. Sentence 9.12.2.2.(1) of the 1995 National Building Code of Canada.
16. That prior to framing inspection, roof truss design shall be submitted to this Office for review.
17. That the main entrance doors to dwelling units shall be provided with a door viewer or transparent glazing in the door or sidelights. Sentence 9.6.8.8(1) of the 1995 National Building Code of Canada.
18. That doors to dwelling units, doors between units and detached garages or ancillary spaces and doors which provide access from a storage garage to a dwelling unit are to conform to Section 9.6.6, resistance to forced entry as per the 1995 National Building Code of Canada. Solid blocking shall be provided on both sides at the lock height between the jamb for doors and the structural framing so that the jamb will resist spreading by force.
19. That wall and floor/ceiling assemblies are not to be closed-in or drywalled until all applicable inspections have been completed and approval given (i.e. building, electrical and plumbing). Furthermore, where applicable, do not call for a framing inspection until the electrical/plumbing rough-in has been inspected and approved.
20. That every dwelling unit shall be provided with a mechanical ventilation system complying with:
 - a) CAN/CSA-F326 "Residential Mechanical Ventilation Systems", or
 - b) for mechanical ventilation systems coupled to forced air heating systems, the balance of this Subsection other than Article 9.32.3.7, or
 - c) for mechanical ventilation systems not coupled to forced air heating systems, the balance of this Subsection other than Article 9.32.3.6.

Installers will be required to certify, in writing, that all H.V.A.C. equipment complies fully with Article 9.32.3.1 of the National Building Code of Canada prior to Occupancy Permit being issued.

21. That ceramic and plastic tile installed on walls, around bathtubs or showers shall be applied over moisture resistant backing as per Article 9.29.10.4. of the 1995 National Building Code of Canada.
22. That wood in contact with concrete foundations shall be treated or separated from the concrete by at least .05 mm polyethylene or Type S roll roofing as per Article 9.23.2.3 of the 1995 National Building Code of Canada.
23. That the vapour barrier protection shall be installed between exterior and interior walls, over all top plates and around all electrical boxes. Holes through vapour barrier such as those cut for the installation of electrical wiring, electrical boxes, piping or ductwork shall be sealed to maintain the integrity of the vapour barrier over the entire surface as per Section 9.25 of the 1995 National Building Code of Canada.
24. That a clearance of not less than 200mm (8") shall be provided between the finished ground level and siding that is adversely affected by moisture as per Article 9.27.2.2. of the 1995 National Building Code of Canada.
25. That membrane type vapour barrier shall have a minimum thickness of 0.15 mm (6 mil) and shall conform to the requirements of: (a) Can/CGSB-51.34-M "Vapour Barrier, Polyethylene Sheet for Use in Building Construction"; or (b) CAN/CGSB-51-33-M, "Vapour Barrier, Sheet Excluding Polyethylene, for Use in Building Construction" so as to comply with Article 9.25.3.5 of the 1990 National Building Code of Canada. General purpose vapour barrier is not acceptable.
26. That where an exhaust duct passes through or is adjacent to unheated space, the duct shall be insulated to not less than RS10.5 to comply with Article 9.23.3.20 of the 1995 National Building Code of Canada.
27. That mechanical ventilation shall be installed in interior washroom without natural ventilation.
28. That the minimum glass area for bedrooms is 5% of the area served and each bedroom shall have at least one (1) outside window openable from the inside without the use of tools or special knowledge. Such windows shall provide an unobstructed opening of not less than 380 mm (15") in height and width and 0.35m² (3.8 sq.ft.) in area. It is recommended that the sills of windows intended for use as emergency exits be not higher than 1.5m above the floor. Article 9.7.1.3 of the 1995 National Building Code of Canada.

Page 5.

29. That a headroom clearance of at least 1.95 m (6'5") shall be obtained at stairs measured a vertical distance from a line drawn through the outer edge of nosing to the underside of the ceiling above as per Article 9.8.3.4 of the 1995 National Building Code of Canada.
30. That A.C. smoke alarm shall be installed so that there is at least one smoke alarm on each floor level, including basements, that is 900mm or more above or below an adjacent floor level. Each bedroom shall be protected by a smoke alarm either inside the bedroom or, if outside, within 5m measured following corridors and doorways, of the bedroom door. The distance measured following corridors and doorways, from any point on a floor level to a smoke alarm on the same level does not exceed 15m. Where more than one smoke alarm is required in a dwelling unit, the smoke alarm shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound. Article 9.10.18.2 and 9.10.18.4 of the 1995 National Building Code of Canada.
31. That swinging entrance doors to dwelling units, swinging doors between dwelling units and attached garages or other ancillary spaces and swinging doors which provide access directly or indirectly from storage garage to a dwelling unit shall be provided with a dead bolt lock with a cylinder having no fewer than 5 pins and a bolt throw no less than 25mm, protected with a solid or hardened free turning ring or bevelled cylinder housing. Article 9.6.8.1 and 9.6.8.3 of the 1995 National Building Code of Canada.
32. That the installation of plumbing and piping material shall be installed with respect to penetration of fire separation in conformance with Article 9.10.9.7 of the 1995 National Building Code of Canada.
33. That the integrity of all required fire separations shall be maintained in conformance with Subsections 9.10.8., 9.10.9 and 9.10.13 of the 1995 National Building Code of Canada.
34. To carry out any other applicable provisions of the 1995 National Building Code of Canada.

If you require any additional information, please contact the undersigned.

Yours truly,

Richard Parsons (576-8325)
Plans Examiner

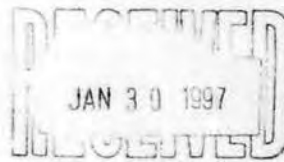
RP/mm



MEMORANDUM

B-1-97-0021

January 29, 1997



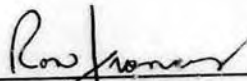
Memorandum: Ron Cadigan
Manager - Assessments

RE: Civic Numbering - Vacant Land
Collette Nap, Architect
Harvey Road

Attached is a plan dated January 28, 1997, showing the approved civic number 47 Harvey Road for the above referenced vacant land.

This property is presently on the City Assessment Roll as civic number 50-52 Long's hill. Attached for your information is a copy of the owners January 23, 1997, fax requesting a number off Harvey Road.

Would you please arrange to have the new number included on the Assessment Roll.



Ron Francis, NLS
Manager - Surveying & Drafting

RF/tb
Encl.

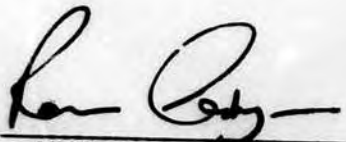
p.c. Wayne Purchase ✓
Associate Commissioner/
Director of Building/Property Management

Everett Short - Accountant

4380 - 1-0190 - 000 - 1



- (45) EXISTING CIVIC NUMBER
- (47) SUGGESTED CIVIC NUMBER

APPROVED 
 ASSESSMENT DEPARTMENT
 DATE 97-01-28

REVISIONS	DR. BY TRA. BY P.R.S. CHD. BY R.F. DATE JAN. 28/97 SCALE 1 = 500		CITY OF ST. JOHN'S ENGINEERING DEPARTMENT TITLE: CIVIC NUMBERING HARVEY ROAD
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City Of St. John's

P.O. Box 908, St. John's, NF, Canada A1C 5M2 (709) 576-8600



January 29, 1997

Ms. Colette Napp
Colette Nap Architect
P. O. Box 1124, Stn "C"
St. John's, NF.
A1C 5M5

RECEIVED
JAN 30 1997

Dear Ms. Napp:

Re: **Proposed Mixed Use Building (Dwelling Units & Architectural Practice)
Civic #50-52 Long's Hill (Harvey Road)**

Please be advised that the above referenced application was approved by the St. John's Municipal Council at the Regular Meeting held on Monday, January 29, 1997.

The following conditions apply to this approval:

1. The applicant/developer will be responsible for extending the service laterals from the mains into the lot if required.
2. A Street Excavation must be obtained from the City Street Inspector at the Municipal Depot on Blackler Avenue prior to any excavation work occurring within the street right-of-way.
3. A Permit to Connect form for connection to the City's water and sewer systems must be completed prior to any servicing work occurring. This form may be obtained from the Department of Engineering and Planning located on the third floor of City Hall.


This approval is valid for a period of two (2) years from the date of issuance and may be renewed once by Council for a further period of one (1) year.

If you have not already done so, you should now contact the Department of Building and Property Management, located on the third floor of the City Hall Annex Building, in order to obtain the required Building Permit prior to any development taking place on the site.

You should be aware that the St. John's Development Regulations permit any person to appeal the approval of this proposal to the St. John's Local Board of Appeal, provided an appeal is filed with the Secretary of the Appeal Board within fifteen (15) days of Council's approval of the application. Where an appeal is filed, development may not proceed pending the decision of the appeal and the subsequent issuance of all required permits.

Should you have any questions pertaining to this matter, please contact the Department of Engineering and Planning at 576-8389 or 576-8430.

Yours truly,

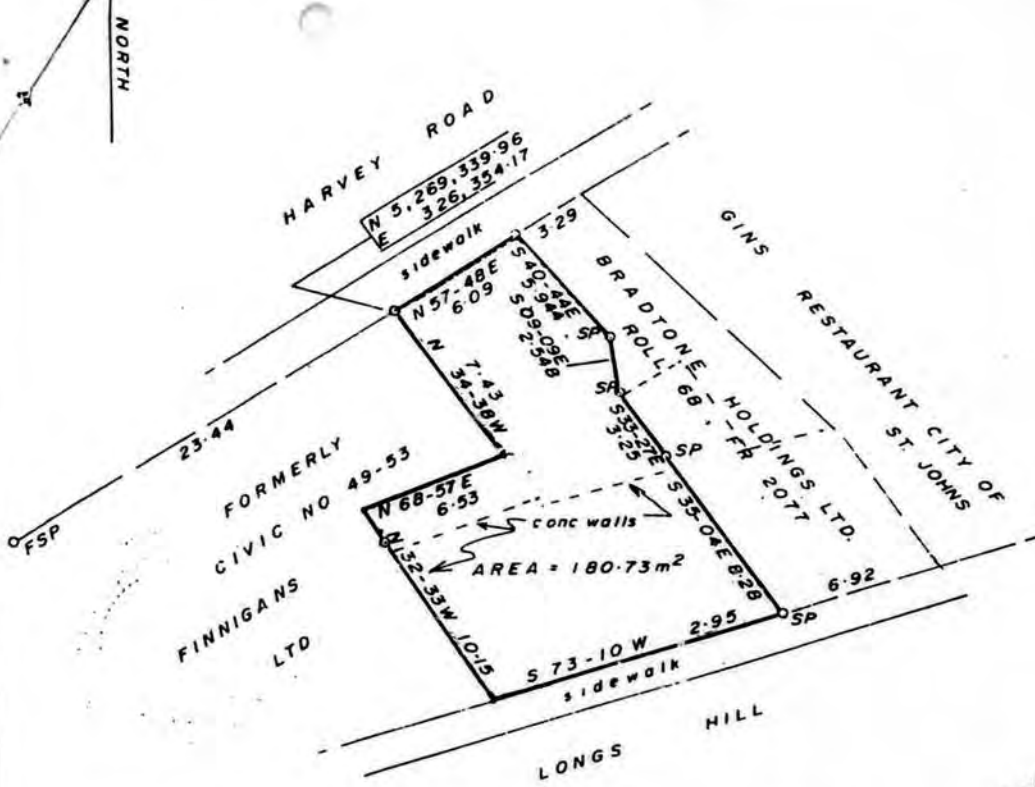

Ed Murray
Development Officer

EM/tb

pc Carol Kirkland - Supervisor of Inspection Services

WORKING TOGETHER FOR A BETTER CITY





Reference Monuments 026187 026188
 NAD 27 N 5,269,008.953 N 5,269,156.698
 E 326,034.351 326,134.692

*DM
 JYR
 RY*

© Richard Young, Newfoundland Land Surveyor, 1994, unauthorized use, alteration or reproduction of this survey plan is prohibited by law as outlined in the Copyright Act. However, use and reproduction thereof by or on behalf of the person to whom this survey plan was prepared, is permitted provided that no alterations whatsoever are made thereto

APPROVED
[Signature]
DEVELOPMENT OFFICER
 97-01-29

RECEIVED
 JAN 17 1997

ENGINEERING & WORKS
[Signature]
 RICHARD YOUNG
 NEWFOUNDLAND
 SURVEYOR
 PROVINCE OF NEWFOUNDLAND

RICHARD YOUNG & ASSOC. LTD. NEWFOUNDLAND LAND SURVEYORS P.O. BOX 9247, STA. B, ST. JOHNS, A1A-2X9	
BOUNDARY SURVEY CIVIC NO'S 50-52 LONGS HILL ST. JOHNS	
SCALE	1 / 250
DATE	JULY 1994
JOB NO.	9431
SURVEY	RY

colette nap architect

February 4 1997

City of St. John's
Department of Buildings
P O Box 908
St. John's NF
A1C 5M2
Attn: Mr. Richard Parsons, Plans Examiner

47 Harvey Rd.

Re: 50-52 Long's Hill (47 Harvey Road)
2 Dwelling Units & Home Occupation
File # B-1-97-0021

Dear Richard

With this letter I would like to confirm what was discussed in our telephone conversation yesterday, February 03 1997

Concerning item #4 in your letter dated 1997 01 29, you will not require a revision of the partitions on the lower level. Could you please confirm this in writing or simply mail a signed copy of this letter to me. Thank-you.

Sincerely

Colette Nap NAA

Hard copy to follow via postal service.

*OK by
app. by
W.W.P.
No Revision
Required*

Development Committee Report - January 21, 1997

Council considered the following report of the Development Committee:

B-1-97-0182
N/C 302
SSC RR
8730-04200-000-4

APPROVAL:

C-96-02211

B-1-97-0183
DM 302 SSC RR

1. Proposed Replacement of Dwelling
708 Thorburn Road
Ms. Marilyn Hoyles
WARD 4

The Development Committee recommends that this application be approved in accordance with Section 104(4)(c) of the City of St. John's Act.

INFORMATION:

2. Proposed Mixed Use Building (2 dwelling units & architectural practice)
50-52 Long's Hill (Harvey Road)
Colette Nap, Architect
WARD 2 *50 Harvey Rd*

The Development Committee recommends that these drawings be referred to Council for viewing prior to the granting of any approval or the issuance of any Building Permits.

Wayne Purchase, Chairman
Associate Commissioner/Director of
Building & Property Management

SJMC97-01-27/075R

Regarding Item 1: It was moved by Councillor Colbert; seconded by Councillor Wyatt: That the recommendation for approval be accepted.

SJMC97-01-27/076R

It was then decided on motion of Councillor Skinner; seconded by Councillor Hanrahan: That the application be approved.

The Committee recommends that Council rescind its previous approval to absorb the cost of a street light located on Barrows Road as it is located on private property and used for the purpose of lighting a fishing stage. This cost is not the responsibility of the City's taxpayers.

Councillor Keith Coombs
Chairperson

SJMC97-01-27/072R

It was moved by Councillor Coombs; seconded by Councillor Brace: That the recommendations of the report be accepted.

Regarding Item #3, Councillor Wyatt requested that this matter be deferred pending clarification with respect to the variation between this and the existing policy. The matter was referred to the Associate Commissioner/Director of Engineering & Planning for a report.

SJMC97-01-27/073R

Regarding Item #4, it was then moved by Councillor Dinn: That savings from the project in the amount of \$14,000 be placed back into the budget.

The motion failed for lack of a seconder.

SJMC97-01-27/074R

Regarding Item #7: It was decided on motion of Councillor Wyatt; seconded by Councillor Skinner: That Council rescind its approval to absorb the cost of a street light on Barrows Road, which is situate on private property.

Following further discussion the main motion then being put was carried.



MEMORANDUM

**MEMORANDUM TO: His Worship the Mayor
and Members of Council**

The following matters were considered by the Development Committee at a meeting held on January 21, 1997. Staff Reports on these applications are attached for the review of members of Council.

APPROVAL:

- 7 1. Proposed Replacement of Dwelling
708 Thorburn Road
Ms. Marilyn Hoyles
WARD 4

OK

Carol Power ASAP

The Development Committee recommends that this application be approved in accordance with Section 104(4)(c) of the City of St. John's Act.

INFORMATION:

- 7 2. Proposed Mixed Use Building
(2 dwelling units & architectural practice)
50-52 Long's Hill (Harvey Road)
Colette Nap, Architect
WARD 2

OK

The Development Committee recommends that these drawings be referred to Council for viewing prior to the granting of any approval or the issuance of any Building Permits.

Wayne Purchase

Wayne Purchase, Chairman
Associate Commissioner/Director of
Building & Property Management

1997-01-22

Attach.



January 20, 1997

MEMORANDUM

61

Memorandum to: Mr. Wayne Purchase, CET.
Chairman - Development committee

Re: Application #96-00488 (B-17-L.13)
Proposed Mixed Use Building (2 Dwelling Units & Architectural
Practice)
Civic #50-52 Long's Hill (Harvey Road)
Colette Nap - Architect

Attached, is a copy of the revised drawings for the above referenced proposal.

A review of these drawings indicate that the proposed development appears to meet the requirements for development in the Commercial Central Mixed (CCM) Zone.

In the past, Council has requested that they view the elevation drawings for any new buildings to be constructed on the site of the Harvey Road/Long's Hill fire.

Recommendation:

These drawings be referred to a Regular Meeting of Council for viewing prior to the granting of any approval or the issuance of any Building Permits.

Ed Murray
Development Officer

EM/tb

7

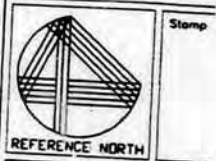


NORTH ELEVATION
SCALE 1:50

HARVEY ROAD ELEVATION

8
10
7
7
S
y
c
15
R
11

7



colette nap of
 p o box 1124
 st john's nf a
 tel 754-5745 fax 72

Consultants
 DESIGN SERVICES
 45 HALLETT CRE
 TEL 722-6190 FAX 7

Project Title
 NAP - CROSBIE
 50/52 LONG'S HILL
 ST JOHN'S

Drawing Title
 ROOF PLAN
 & ELEVATIONS

Desn. By CEN	Chk. By C
Date JAN 1997	Scale AS
Proj. No. 022-96	Sheet No. A-4

LONG'S HILL ELEVATION

RECEIVED
 JAN 17 1997
 ENGINEERING & WORKS
 3
 A-4

colette nap architect

RECEIVED
FEB 11 1997

February 4 1997

City of St. John's
Department of Buildings
P O Box 908
St. John's NF
A1C 5M2
Attn: Mr. Richard Parsons, Plans Examiner

Re: 50-52 Long's Hill (47 Harvey Road)
2 Dwelling Units & Home Occupation
File # B-1-97-0021

Harvey Rd

Dear Richard

With this letter I would like to confirm what was discussed in our telephone conversation yesterday, February 03 1997.

Concerning item #4 in your letter dated 1997 01 29, you will not require a revision of the partitions on the lower level. Could you please confirm this in writing or simply mail a signed copy of this letter to me. Thank-you.

Sincerely



Colette Nap NAA

CITY OF ST. JOHN'S



ST. JOHN'S MUNICIPAL COUNCIL DEPARTMENT OF BUILDINGS

PERMIT

B 1 970021 1

PERMISSION IS HEREBY GRANTED TO
APPLICANT

CONTRACTOR

DATE 97/07/23

COLETTE NAP/DAVID CROSSBIE
P.O. BOX 1124 - STN 'C'
ST. JOHN'S, NFLD.
AIC SMS

K & P CONTRACTING
161 CASEY STREET
ST. JOHN'S, NFLD.

PAID
ST. JOHN'S
MUNICIPAL COUNCIL

FOR NEW CONSTRUCTION OF CONDOMINIUM

VALIDATION

JUL 24 1997

CASHIER #2
TAX DEPARTMENT

[Signature]

50 LONDIS HILL

PERMIT EXPIRES

YEAR	MONTH	DAY
98	01	19

SIGNED

MUNICIPAL OFFICIAL

IMPORTANT:

ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE LAWS AND BY-LAWS OF THE CITY OF ST. JOHN'S AND ALL ORDERS OF THE BUILDING INSPECTOR MADE OR ISSUED BY VIRTUE OF SUCH LAWS AND BY-LAWS MUST BE OBSERVED. PERMIT IS RENEWABLE ON APPLICATION TO THE BUILDING INSPECTOR.

SIGNED

OWNER/AUTHORIZED AGENT

[Signature]

REMARKS

*** TWO UNITS WITH COMMON ENTRANCE AREA ***
*** PERMIT SUBJECT TO APPROVAL FROM THE DEPT OF LABOR. ***
*** AS PER APPROVED PLANS AND INSPECTORS REQUIREMENTS. ***

PERMIT VOID UNLESS VALIDATED BY CASHIER STAMP

EST. VALUE

FEE

234,000

1457.50

NOTE: SEPARATE PERMITS ARE REQUIRED FOR
ANY ELECTRICAL OR PLUMBING WORK

CONTROL COPY



GOVERNMENT OF
NEWFOUNDLAND
AND LABRADOR

Department of
Government Services and Lands

Government Service Centre

Telephone: (709) 729-1038
Facsimile: (709) 729-2071

30 July 1997

RECEIVED
AUG 08 1997

Ms. Colette Nap Architect
P. O. Box 1124, Station "C"
St. John's, NF
A1C 5M5

61970021
RMK

**RE: BUILDINGS ACCESSIBILITY EXEMPTION APPLICATION FOR CIVIC NO. 47
HARVEY ROAD, (2 RESIDENTIAL UNITS 1 WITH OFFICE OCCUPANCY) 52
LONG'S HILL, ST. JOHN'S, NF**

Dear Madam:

We acknowledge receipt of your application for the above noted project.

A review of the information submitted has determined that this project is exempt from the provisions of the Buildings Accessibility Act and Regulations (**Exemption # EA-3903**).

Please Note:

Office occupancy on 47 Harvey Road will be accessible from street.

The design of the proposed project is therefore not required to comply with the Technical Requirements of the Buildings Accessibility Regulations. Any future reconstruction at this location must be similarly recorded by this department. Please quote the above Exemption Number on any future applications for this property.

Yours truly,

JOHN J. HANNAFORD
Design Approval Technician
Phone: (709)729-1038

JJH/fh

cc: - City of St. John's
Attention: Mr. R. Parsons
- Technical Services Inspector
Government Service Centre

colette nap architect

po box 1124 stn c st john's nf a1c 5m5 tel/fax 754-5745 e-mail cnap@avalon.nf.ca

transmittal

to

City of St. John's
Building Department

attention

Mr. Richard Parsons

date

October 27 1997

enclosed

Revised plan A-2
Structural Diagrams

project

47 Harvey Road (50-52 Long's Hill)

via

Courier

message

Richard,

You will also be receiving a letter from Mr. Roy Pieroway concerning the structural design. He is currently on vacation, so I am trying to get it as soon as possible. I hope this will not hold up the proceedings.

If you have any questions please don't hesitate to call.

Sincerely



Colette Nap NAA

colette nap architect

p o box 1124 stn 'c' st john's nf a/c 5m5 tel/fax 754-5745 e-mail cnap@avalon.nf.ca

fax transmittal

to

City of St. John's

attn

Building Dept. Mr Rick Kavanagh

fax no

576-8160

date

Oct 28 97

time

2:15 PM

project

47 Harvey Rd Suite #2

page 1 of

2

Message

Mr Kavanagh

For your records. A hard copy will follow.

Sincerely



Colette Nap NAA

colette nap architect

October 28 1997

City of St. John's
Building Department
Attn.: Mr. Rick Kavanagh

Re: #47 Harvey Road (50-52 Long's Hill), St. John's

Dear Mr. Kavanagh

In response to your framing inspection for the above noted project, I would like to make comment on point #4) "note" Framing will require certification from engineer or architect.

I certify that the framing design meets the requirements of the National Building Code of Canada, latest edition.

A letter will follow from the structural engineer concerning the other points on your Field Notice.

I hope this meets with your approval.

Thank-you.

Sincerely



Colette Nap NAA



Cc: Karwood Estates Inc., Mr. Rod Parsons
Design Services Ltd., Mr. Roy Pieroway

colette nap architect

October 28 1997

City of St. John's
Building Department
Attn.: Mr. Rick Kavanagh

Re: #47 Harvey Road (50-52 Long's Hill), St. John's

Dear Mr. Kavanagh

In response to your framing inspection for the above noted project, I would like to make comment on point #4) "note" Framing will require certification from engineer or architect.


I certify that the framing design meets the requirements of the National Building Code of Canada, latest edition.

A letter will follow from the structural engineer concerning the other points on your Field Notice.

I hope this meets with your approval.

Thank-you.

Sincerely


Colette Nap NAA



Cc: Karwood Estates Inc., Mr. Rod Parsons
Design Services Ltd., Mr. Roy Pieroway

RECEIVED
OCT 31 1997
B1970021
RMK

colette nap architect

RECEIVED
OCT 28 1997

October 27 1997

City of St. John's
Building Department
Attn.: Mr. Richard Parsons

Re: #47 Harvey Road (50-52 Long's Hill), St. John's

Dear Mr. Parsons

As per the request of Mr. Rick Kavanagh, the inspector assigned to my project at #47 Harvey Road, I am supplying you with information outlining the alterations made to the original plans due to the change in elevation between the sidewalks at Long's Hill & Harvey Road.

Upon excavation my structural engineer, Mr. Roy Pieroway, Design Services Ltd., advised me to not extend the garage /basement to the property boundary at Harvey Road so as not to undermine the existing rubble wall supporting the sidewalk there. The existing grade was maintained and this meant a concrete floor slab was poured at the top of the first set of stairs coming up from the garage in Unit 'B' (see 2-A2, Upper Basement Plan Revised).

Unexpected additional height was also encountered between the two streets. This required me to provide additional horizontal framing to provide lateral support for the building. In Unit 'A' this translated into framing over the garage doors and in Unit 'B' the full length of the garage was provided with framing at half way up its full height. **No** access is being provided to either of these spaces and they are being kept completely outside the building envelope. Units A & B are both being tested & registered R-2000 and for the energy budget to pass, these spaces are treated as exterior.

At present neither of these spaces will be provided with insulation, electrical, plumbing or natural light. In the event that I ever intend to utilize the additional space created in Unit 'B' I will be going through the normal application & approval procedures to obtain the required permits.

Enclosed please find design sketches from Mr. Roy Pieroway and a revised drawing, A-2.

Sincerely



Colette Nap NAA

Cc: Karwood Estates, Mr. Rod Parsons



FILE NO:

B197 0021

LOCATION:

47 Downey Road

OWNER:

[Redacted]

CONTRACTOR:

Karl Parsons

REMARKS:

Unit A only

MANDATORY INSPECTIONS

APPROVED

NOT APPROVED
(SEE BELOW)

- EXCAVATION _____
- FOUNDATION & DRAIN TILE _____
- FRAMING _____
- FIREPLACE/WOODSTOVE & CHIMNEY _____
- INSULATION & VAPOUR BARRIER _____
- DAMP-PROOFING UNDER FLOOR SLAB _____
- SITE REQUIREMENTS _____
- FINAL _____

AN INSPECTION OF THE ABOVE PROJECT DISCLOSED THAT THE ITEMS NOTED BELOW REQUIRE YOUR REMEDIAL ACTION TO AVOID CONTRAVENTION OF THE ST. JOHN'S BUILDING REGULATIONS, AND/OR THE CITY OF ST. JOHN'S ACT.

ITEM	DESCRIPTION
1)	Verification is required from a Professional Engineer for the Top Plate Design in the Living Room & Mezzanine area.
2)	Pre-Engineered Trusses Design is required for 1st & 2nd Floor where used.
3)	Ensure all Doubled pre-Engineered roof Trusses is carried down to concrete.
4)	"Note" Framing will require waterproofing from Engineer & Driveway.

BY: SIGNATURE

[Signature]

DATE:

97-10-28

PHONE:

576-8021

ED BY:

SIGNATURE

DATE:

SEP 08 '97 11:15 COLETTE NAP ARCHITECT

17097545745

TO:

709 576 3160 P01

colette nap architect

p o box 1124 stn 'c' st john's nt a1c 5m5 tel/fax 754-5745 e-mail cnap@avalon.nf.ca

fax transmittal

Cancelled B1970021
RMK
47 Harvey Rd.

to City of St John's, Building Dept

attn Richard Parsons fax no 576-8160


date Sept 08 1997 time 12.00 Noon

project 50-52 Long's Hill / 47 Harvey Road page 1 of 3

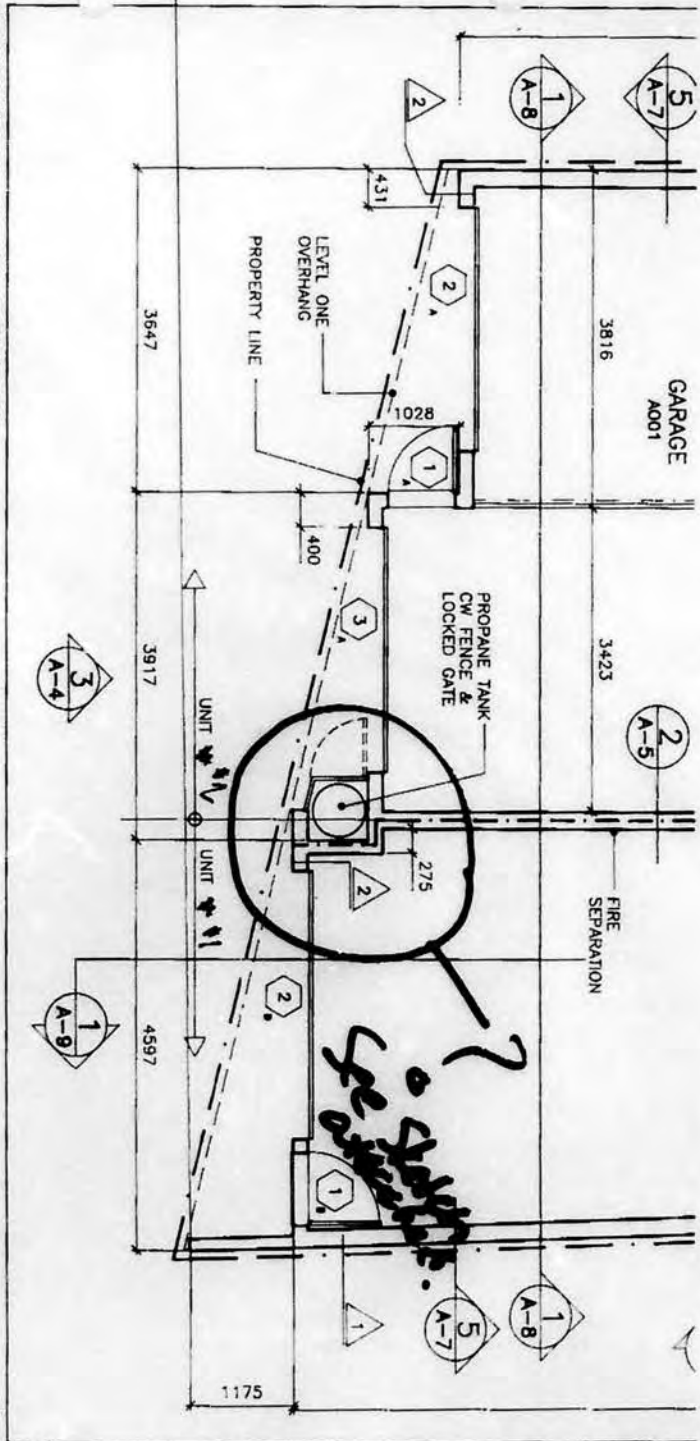
Message

Richard.

Could you please review the attached sketches for the proposed location of a propane vent (to serve a fire place in unit # 2). Will this arrangement be acceptable. The contractor, is, of course on site, waiting for an answer from me.

Thank-you 

BASEMENT PLAN REVISED
SCALE 1:50



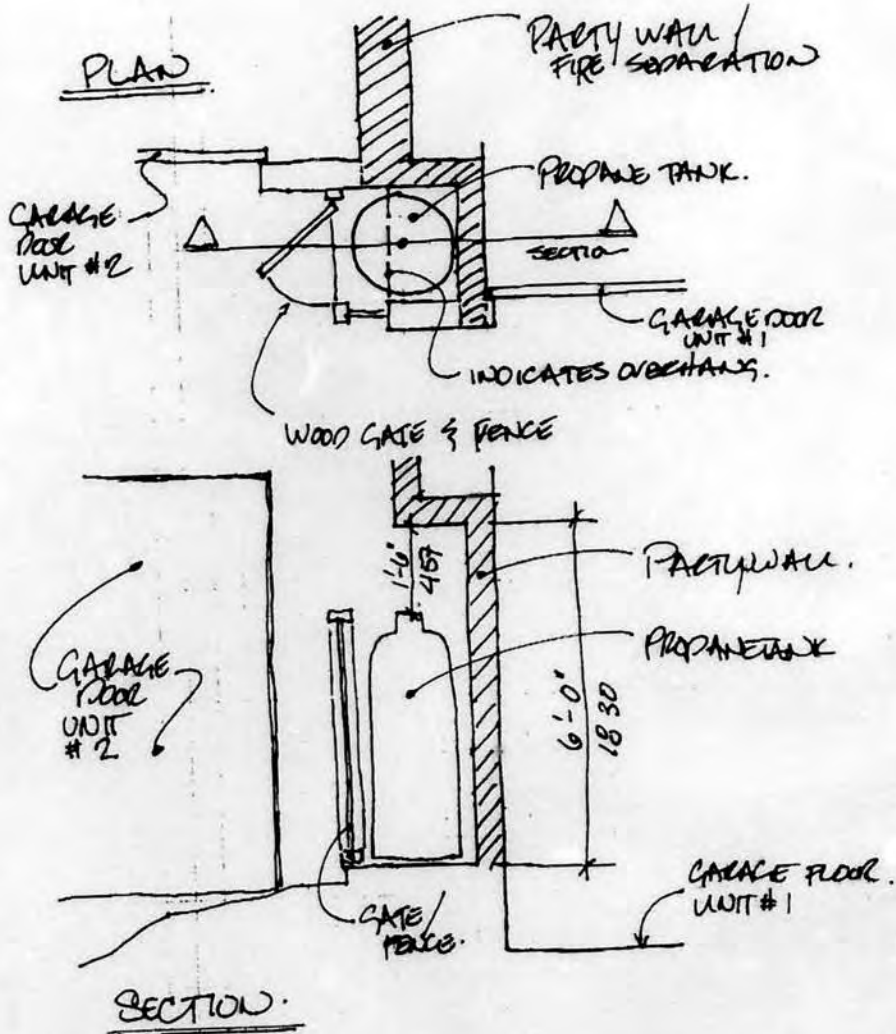
30
x 24

R 2000
Standard

see above

PROPANE TANK LOCATION

BETWEEN UNITS #1 & 2
SERVING UNIT #2.



FIELD NOTICE

DEPT. OF BUILDING & PROPERTY MANAGEMENT
P.O. BOX 908
ST. JOHN'S, NF
A1C 3M2
TELEPHONE (709) 576-8901



FILE NO:

B1970021

LOCATION:

47 Johnson Rd.

OWNER:

[REDACTED]

CONTRACTOR:

Red Meadows

REMARKS:

Unit "A" 1st, 2nd, 3rd floors.

Subject to.

MANDATORY INSPECTIONS

APPROVED

NOT APPROVED
(SEE BELOW)

<input type="checkbox"/>	EXCAVATION	<input type="checkbox"/>
<input type="checkbox"/>	FOUNDATION & DRAIN TILE	<input type="checkbox"/>
<input type="checkbox"/>	FRAMING	<input type="checkbox"/>
<input type="checkbox"/>	FIREPLACE/WOODSTOVE & CHIMNEY	<input type="checkbox"/>
<input checked="" type="checkbox"/>	INSULATION & VAPOUR BARRIER	<input type="checkbox"/>
<input type="checkbox"/>	DAMPROOFING UNDER FLOOR SLAB	<input type="checkbox"/>
<input type="checkbox"/>	SITE REQUIREMENTS	<input type="checkbox"/>
<input type="checkbox"/>	FINAL	<input type="checkbox"/>

AN INSPECTION OF THE ABOVE PROJECT DISCLOSED THAT THE ITEMS NOTED BELOW REQUIRE YOUR REMEDIAL ACTION TO AVOID CONTRAVENTION OF THE ST. JOHN'S BUILDING REGULATIONS, AND/OR THE CITY OF ST. JOHN'S ACT.

ITEM	DESCRIPTION
011	✓ Hidden spaces being vapour barrier sealed.

ISSUED BY: SIGNATURE *[Handwritten Signature]*

DATE: 17-11-04 PHONE: 576 8021

colette nap architect

p o box 1124 stn 'c' st john's nf a1c 5m5 tel/fax 754-5745 e-mail cnap@avalon.nf.ca

fax transmittal

to CITY OF ST. JOHN'S BUILDINGS DEPT.

attn RICHARD PARSONS. fax no 576-8160

date NOV 10 97 time 5:30 PM.

project 47 HARVEY RD. page 1 of 3.

Message

Dear Richard,

In response to Rod Parsons conversation with you about the dwelling unit entry doors @ the common corridor:

Section 9.10.9.15 requires a 45 min fire separation between public corridors & the remainder of a building. I would think that this would apply to this situation: please see attached sketch for wall & door frame detail:

Please see the 2nd attached sketch for an elevation of the entry door to my unit indicating wired glass.

Sincerely

Colette Nap

Colette Nap NAA

P.S. I shall call you in the morning.

* cc Rod Parsons Karwood Estates Inc. advised applicant via phone design acceptable. / door swing & door design IN CORR.

NOV 11 '97 20:53 COLETTE NAP ARCHITECT

17097545745

TO:

709 576 8160 F01

colette nap architect

p o box 1124 stn 'c' st john's nf a1c 5m5 tel/fax 754-5745 e-mail cnap@avalon.nf.ca

fax transmittal

to City of St. John's, Dept. of Buildings

attn Richard Parsons fax no 576-8160

date Nov 11 97 time 8:35 pm

project 47 Harvey Rd (50-52 Long's Hill) page 1 of 1

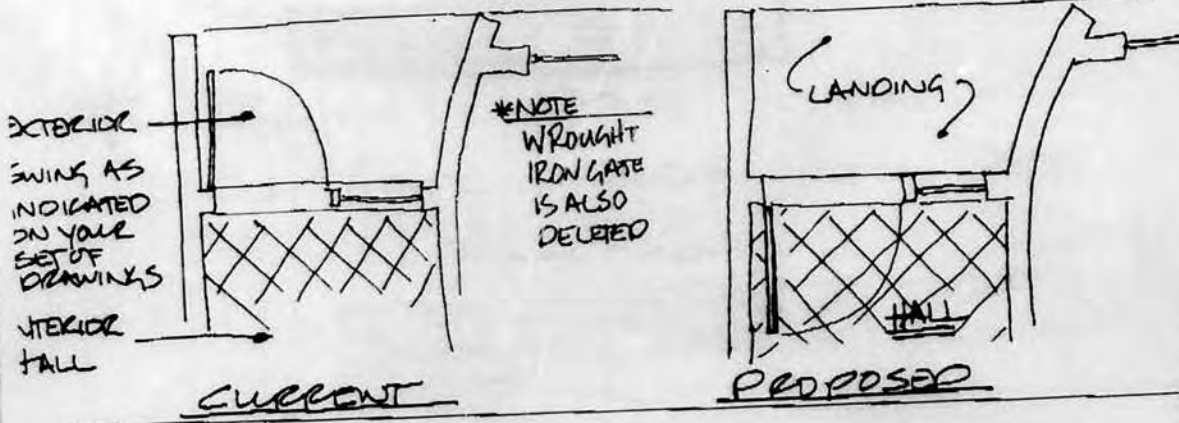
Message

Richard

I would like to change the direction of door swing for the main exterior entry door at the Harvey Road sidewalk, from an out-swing to an in-swing. Will this be acceptable? If not I shall keep it as the drawing currently shows it which is ~~outswing~~ **outsings**.

Sincerely

Colette Nap NAA



NOV 1

NOV 11 '97 15:08 COLETTE NAP ARCHITECT

17897545745

TO:

709 576 8160 P03

CC
date
project

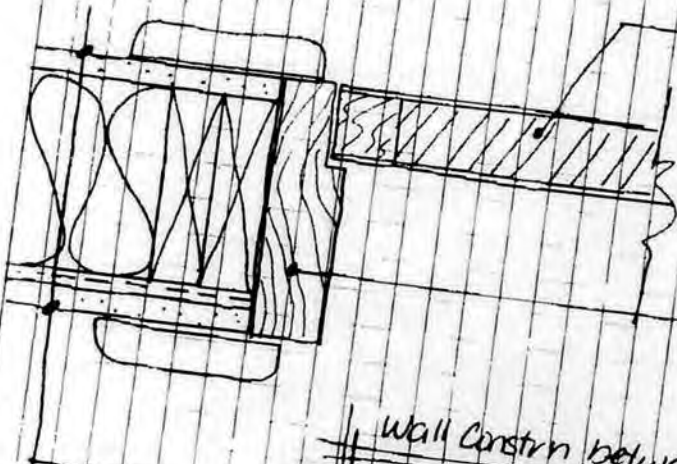
colette nap architect

date NOV 10 97

project 47 HARVEY RD

author CEN

title ENTRY DOORS TO DWELLINGS @ Common Corridor. page 1 of 1



45mm 45 min Labeled Fire Rated Door SOLID CORE WOOD.

38 x 185 mm Pine door Frame.

Wall Constrn between unit & common corridor:

16 mm type X Fire Rated Gypsum Brd.
38 x 140 mm wood studs @ 400 oc.
Resilient channels (13mm).
16 mm type X Fire Rated Gypsum Brd.
cw Batt insulation between studs R513.5

DOOR JAMB DETAIL

Reused - NOV 11, 97

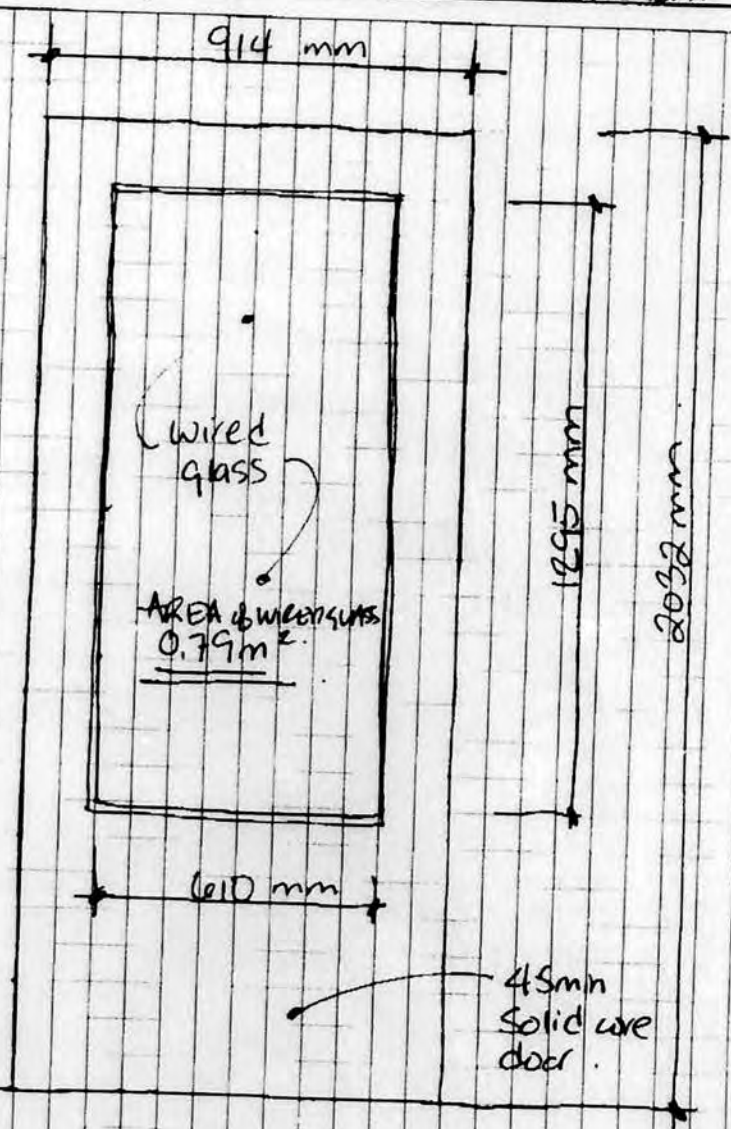
*
REHARD - Please note that Pine door frame is reused from yesterday's FAX.
Thank - you

Post-it Fax Note		7671E	Date	NOV 11 97	# of pages	1
To	BUILDING DEPT	From	COLETTE NAP			
Co./Dept.	PARSONS	Co.	COLETTE NAP			
Phone #	576-8160	Phone #	754-5745			
Fax #	576-8160	Fax #	754-5745			

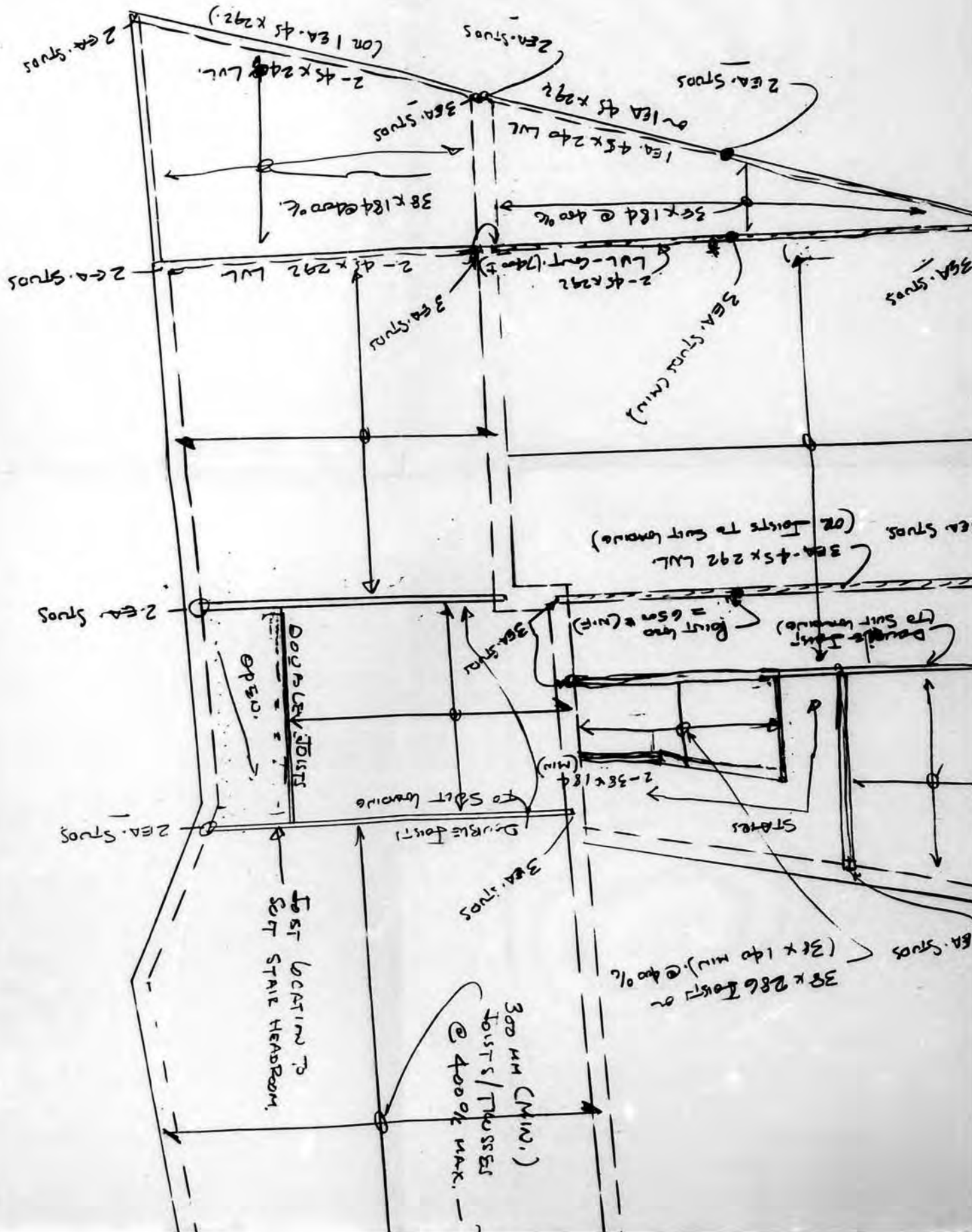
colette nap architect

date NW 10 97 author CEN page 1 of 1

project 47 Harvey Rd. title Door Elevation Entry to Unit B'



Door Elevation @ Common Corridor
accessing ColetteNap's unit - Suite #1 (unit B')



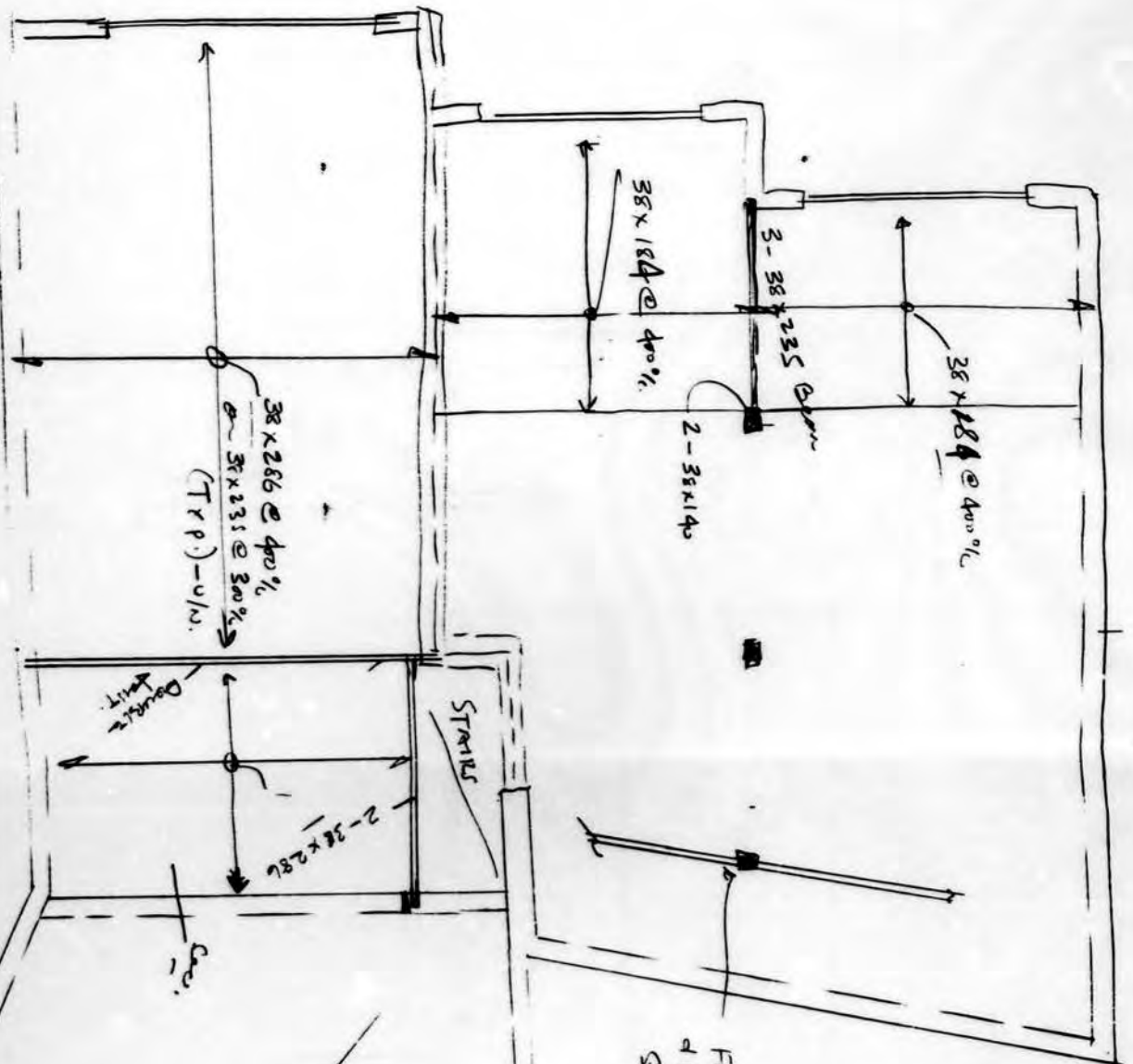
Fast location to
set stair headroom.

38x286 Joists @ 400c
(1 EA 140 MIN.) @ 400c

300 MM (MIN.)
JOISTS/TIMBERS
@ 400c MAX.

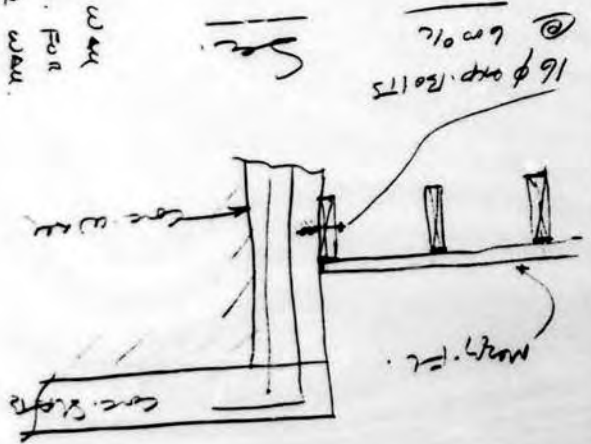
Fluor. live load = 2.4 k/ft^2

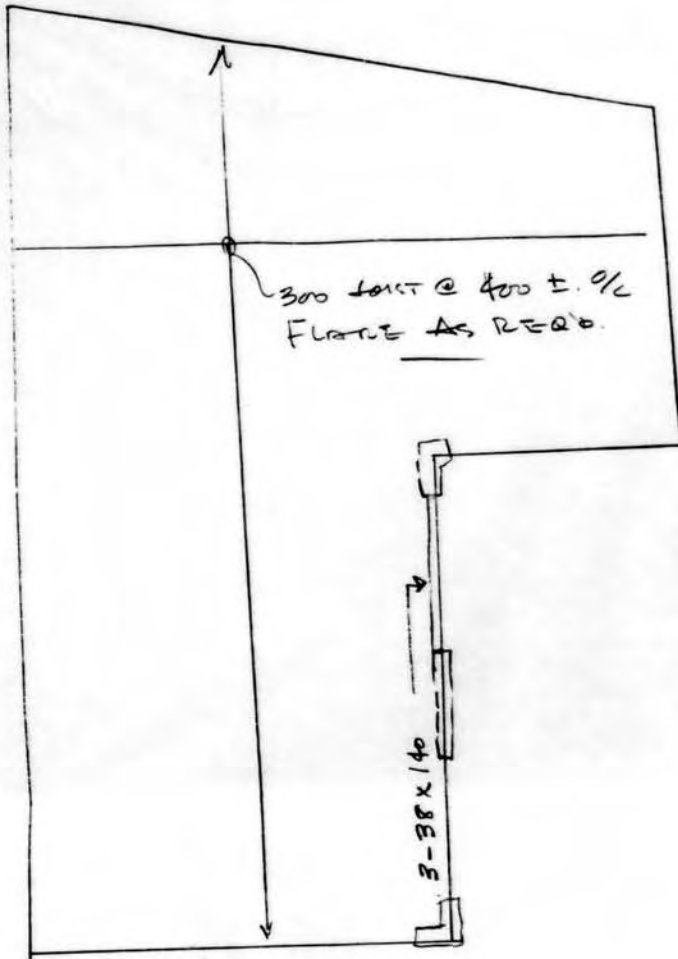
GARAGE MEZZANINE FLOR



STAIRS ON GRADE

FOR USE OF
STAIRS





Live Load - $w = 2.2 \text{ kN/m}^2$

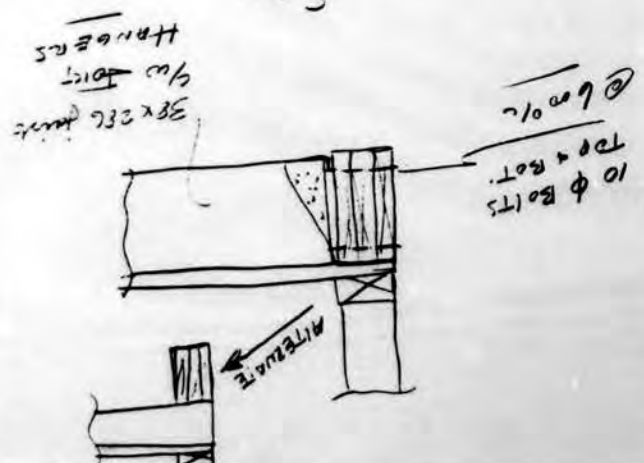
HIGH ROOF

For live load = 1.92 kN/m²
 Roof " " = 2.20 " / "

Mezz & low Roof



300 MM (MIN)
 JOIST/TRUSSES
 @ 400 (MAX.) %



300 JOISTS @ 400% (MIN)
 FLANGE TO SOIT
 DOUBLE END
 STAIRS
 300 JOISTS
 38x286 HEADERS
 LOCATE HEADER TO SOIT HERE
 38x286 HEADERS

2nd floor 11m x 11m shaft

FIELD NOTICE

DEPT. OF BUILDING & PROPERTY MANAGEMENT
 P O BOX 908
 ST. JOHN'S, NF
 A1C 5M2
 TELEPHONE (709) 576-8901



FILE NO: B1970021

LOCATION: 47 Avenue Rd

OWNER: [REDACTED]

CONTRACTOR: Kod. Poulvers

REMARKS: _____

see below.

MANDATORY INSPECTIONS

_____	EXCAVATION	_____
_____	FOUNDATION & DRAIN TILE	_____
_____	FRAMING	_____
_____	FIREPLACE/WOODSTOVE & CHIMNEY	_____
_____	INSULATION & VAPOUR BARRIER	_____
_____	DAMP-PROOFING UNDER FLOOR SLAB	_____
_____	SITE REQUIREMENTS	_____
_____	FINAL	<input checked="" type="checkbox"/>

AN INSPECTION OF THE ABOVE PROJECT DISCLOSED THAT THE ITEMS NOTED BELOW REQUIRE YOUR REMEDIAL ACTION TO AVOID CONTRAVENTION OF THE ST. JOHN'S BUILDING REGULATIONS, AND/OR THE CITY OF ST. JOHN'S ACT.

ITEM	DESCRIPTION
OL1	Common Door to Unit "A" is required to be labelled & (Self Closing Device to be installed) DL 9-12-05
OL2	Exit door to be fire-rated.
OL3	Ceiling paint for HRP Ventilation System is required.
OL4	Dead Bolt required for the garage door.
OL5	Stairs - Plaster Gypsum on Garage Wall.
OL6	Ensure steps installed from Entry to Living.
OL7	Self Closing Device for Entry Door leading to Building.

ISSUED BY: SIGNATURE [Signature] DATE: 9/12/02 PHONE: 576 8021
 RECEIVED BY: SIGNATURE [Signature] DATE: _____

Provincial Heating & Ventilation

39 Chafe Avenue, St. John's, Nf, AOA 1J0
Phone : (709)754-9778 Fax : (709)754-9778

December 5, 1997

St. John's City Council
Building Inspection Department
St. John's, Nf
Attention : Rick Kavanagh

Mr. Kavanagh :

This letter Verifies that the Heat Recovery Ventilator Installed in the residence Located at
152 Longs Hill, St. John's, Nf Was installed Conforming to manufacturers specifications
and all specifications set out by the National Building Code of Canada and The Heating,
Refrigeration, and Air Conditioning Institute of Canada.

If there are any questions regarding this installation feel free in Contacting us at any time

Regards,



#47 downy road.

Ivan Barnes
Installer
Certification No. 001092



City Of St. John's

P.O. Box 908, St. John's, NF, Canada A1C 5M2 (709) 576-8600

97/12/09

OCCUPANCY CERTIFICATE (CONDITIONAL)

97 00852

Property Location:
47 HARVEY RD

Bldg. Roll#: 4380-1-0190-000-1

Listed Owner:

[REDACTED] E

Approved Use:
CONDOMINIUM

313
0000

Units/Suites 1

Zone: CCM
COMMERCIAL CENTRAL MIXED

Work Orders Outstanding:
B1970021

Conditions or Remarks:

CONDITIONAL OCCUPANCY ISSUED SUBJECT TO ITEM #1 OF
THE DEFICIENCY NOTICE DATED ON 1997-12-02 BEING
CORRECTED WITH IN FIVE (5) DAYS OF THE CERTIFICATE.

This certificate reflects the information on record as of the date of issue.

DATE OF ISSUE: 1997/12/09

Signed

Richard Kavanagh
AUTHORIZED MUNICIPAL OFFICIAL

WORKING TOGETHER FOR A BETTER CITY



colette nap architect

p o box 1124 stn 'c' st john's nf a1c 5m5 tel/fax 754-5745 e-mail cnap@avalon.nf.ca

fax transmittal

to
City of St John's Dept of Buildings

attn
Richard Parsons / Rick Kavanagh

fax no
576-8160

date
Jan 26 98

time
7:30 am

project
47 Harvey Rd Suite #1

page 1 of
2

Message

Attached please find a sketch indicating the proposed rail for the stair leading from the main floor to the second floor. It is a bit of an odd situation with the closet / niche accessed at the last tread, therefore making it not possible to continue the rail for the last tread.

Section 9.8.7.2. 2] States that the handrail must be continuous thru the length of the stair except where interrupted. a) by doorways

So I expect this to be OK even though it seems a bit strange.

I shall call later this morning.

Sincerely

Colette Nap NAA

Cc: Karwood Estates 782-0005 fax
File

colette nap architect

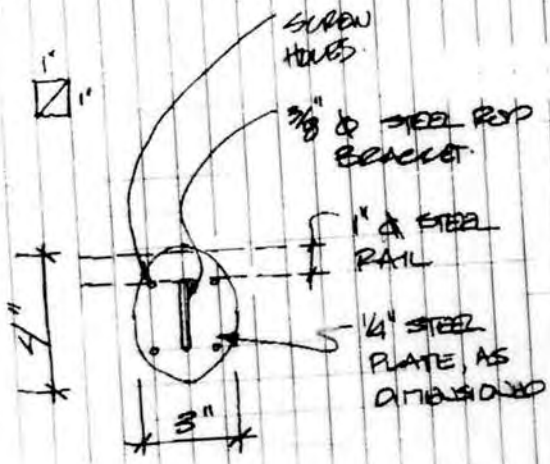
date NOV 30 97

author CEN.

page 1 of 1

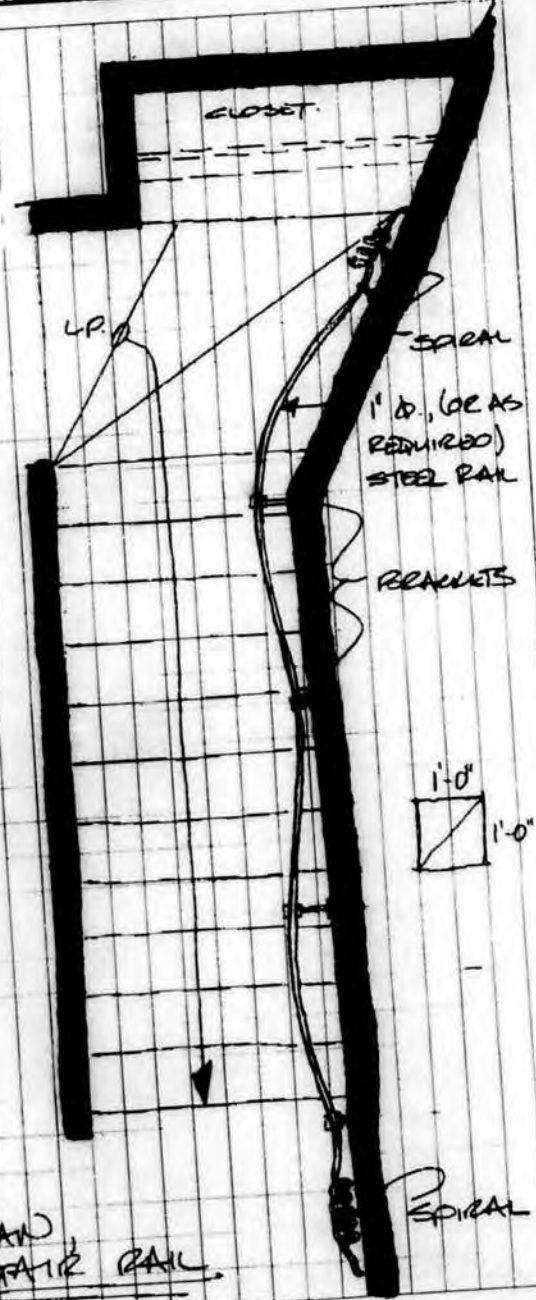
project 47 HARVEY ROAD.

title STAIR RAIL.



BRACKETS, FRONT VIEW;
WELD ALL CONNECTIONS.

* CLEAN & VEGEATIANE ALL STEEL.



PLAN,
SPRAL RAIL.

colette nap architect

47 harvey rd suite #1 st john's nf a1c 2e9 tel/fax 754-5745 e-mail cnap@avint.nf.ca

fax transmittal

to

City of St John's Dept of Buildings

attn

Mr. Rick Kavanagh

fax no

576-8160

date

Feb 20 98

time

11:00 am

project

47 Harvey Rd #1

page 1 of

3

Message

Please see attached.


Colette Nap NAA

Cc: Karwood, 782-0005 fax

co ette nap architect

February 20 1998

City of St. John's
Building Department
Attn: Mr. Rick Kavanagh

Re: #47 Harvey Road, Suite #1(50-52 Long's Hill), St. John's

Dear Mr. Kavanagh

Pursuant to our conversation yesterday evening concerning the Master Bedroom Ensuite, which has no door, I would like to state my case:

- ✓ Firstly, this bathroom is part of the master bedroom, thus private from guests.
- ✓ Secondly, there is a washroom for guests to use on the main floor.
- ✓ Thirdly, the attached sketch illustrates that it is not possible to see into the ensuite from any point in the living spaces.
- ✓ Fourthly, it is my understanding that the National Building Code deals with..."regulations for public health, fire safety and structural sufficiency..." and although it states that "A door shall be provided...to each room containing a water closet within a dwelling unit", I fail to see how an ensuite without a door threatens any of these regulations.

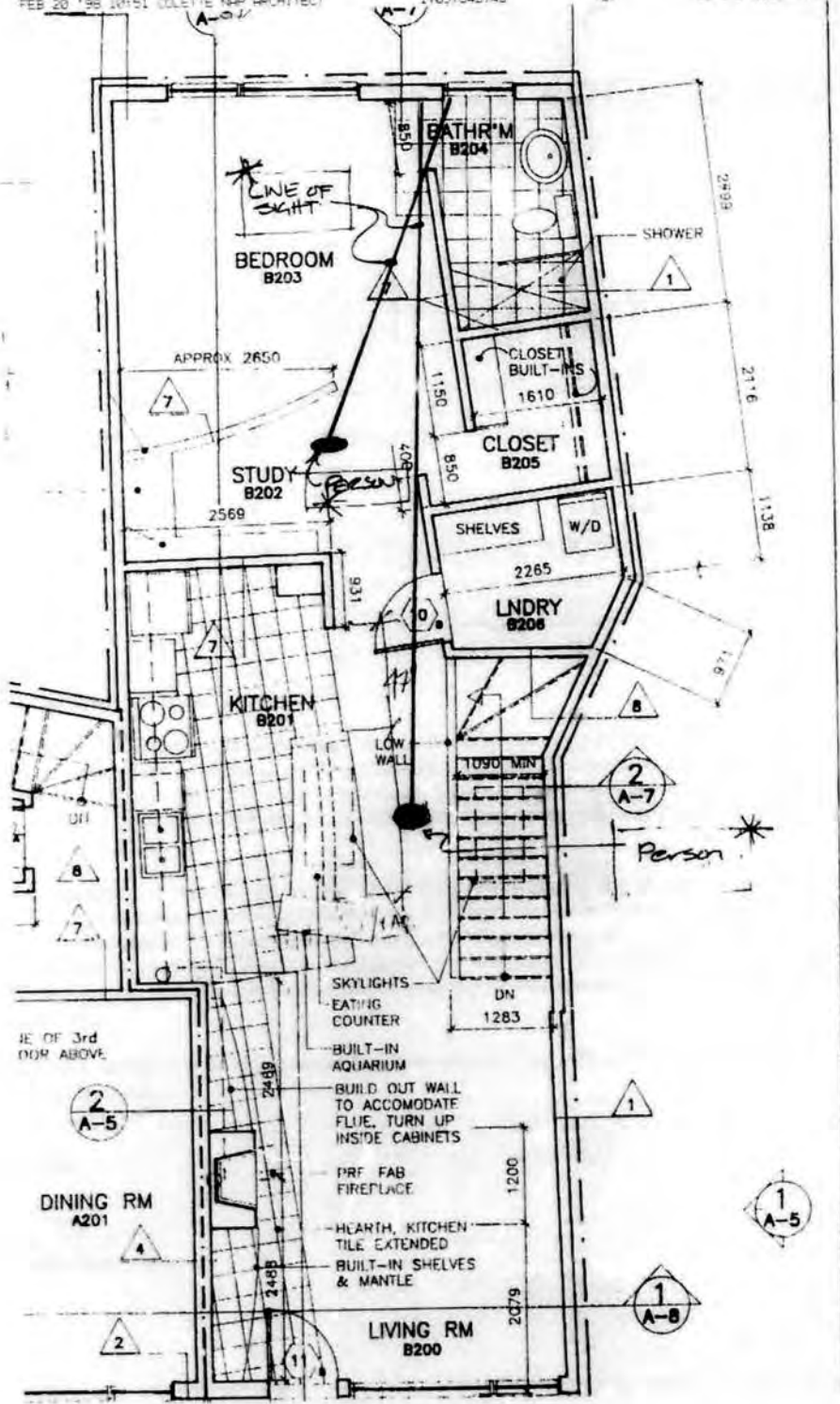
I shall certainly assume full professional responsibility if this design feature was to bring harm to another person. It is not my intention to cause trouble, but for myself, a person living alone, is it really necessary to have a door on your ensuite? I hope this is acceptable to you. I look forward to hearing from you. Thank-you.

Sincerely



Colette Nap NAA

Cc: Karwood Estates Inc., Mr. Rod Parsons



FEB 19 '98 10:56 COLETTE NAP ARCHITECT

17897545745

TO:

709 576 8160 P01

colette nap architect

47 harvey rd suite #1 st john's nf a1c 2e9 tel/fax 754-5745 e-mail cnap@avint.nf.ca

fax transmittal

to

City of St John's, Dept of Buildings

attn

Richard Parsons / **RIK KAVANAGH** fax no 576-8160

date

Feb 18 98 - 19 98

time

1:00 pm

11:00 AM

project

47 Harvey Rd

page 1 of

1

Message

Dear Richard / **RIK**

I would like to obtain your opinion/approval on the doors to each of the 2 suites for this project, which are required to be 45 minute fire-rated doors. The contractor has had the doors on order since before Christmas and we continue to get new promises on the arrival date. I am becoming increasingly concerned that I will never see these doors. I would like to propose an alternative:

I have available to me 90 minute, un-labeled birch veneer doors. These doors were obtained from Pretty Ventures Ltd, who obtained them from National Wood Products, a company that went into receivership. Because of this we are unable to obtain the required labels. The doors are 1 3/4" thick and filled solid with gypsum. Personally, I am confident that these doors will be suitable. I can certainly allow you or one of your representatives to inspect the doors if necessary.

Will it be possible to have these doors accepted by your department? I look forward to hearing from you.

Sincerely



Colette Nap NAA

colette nap architect

47 harvey rd suite #1 st john's nf a1c 2e9 tel/fax 754-5745 e-mail cnap@avint.nf.ca

fax transmittal

to	City of St John's, Dept of Buildings		
attn	Richard Parsons	fax no	576-8160
date	Feb 18 98	time	1:00 pm
project	47 Harvey Rd	page 1 of	1

Message


Dear Richard

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Will it be possible to have these doors accepted by your department? I look forward to hearing from you.

Sincerely


Colette Nap NAA

FIELD NOTICE

DEPT. OF BUILDING & PROPERTY MANAGEMENT
P.O. BOX 908
ST. JOHN'S, NF
A1C 5M2
TELEPHONE (709) 576-8001



FILE NO: B1970021
LOCATION: 47 Conway Rd.
OWNER: [REDACTED]
CONTRACTOR: WILSON'S
REMARKS: Unit B.

MANDATORY INSPECTIONS

APPROVED	NOT APPROVED (SEE BELOW)	
<input type="checkbox"/>	EXCAVATION	<input type="checkbox"/>
<input type="checkbox"/>	FOUNDATION & DRAIN TILE	<input type="checkbox"/>
<input type="checkbox"/>	FRAMING	<input type="checkbox"/>
<input type="checkbox"/>	FIREPLACE/WOODSTOVE & CHIMNEY	<input type="checkbox"/>
<input type="checkbox"/>	INSULATION & VAPOUR BARRIER	<input type="checkbox"/>
<input type="checkbox"/>	DAMP-PROOFING UNDER FLOOR SLAB	<input type="checkbox"/>
<input type="checkbox"/>	SITE REQUIREMENTS	<input type="checkbox"/>
<input type="checkbox"/>	FINAL	<input checked="" type="checkbox"/>

AN INSPECTION OF THE ABOVE PROJECT DISCLOSED THAT THE ITEMS NOTED BELOW REQUIRE YOUR REMEDIAL ACTION TO AVOID CONTRAVENTION OF THE ST. JOHN'S BUILDING REGULATIONS, AND/OR THE CITY OF ST. JOHN'S ACT.

ITEM	DESCRIPTION
1)	Final Plumbing inspection required.
2)	Certification for H.V. is required.
3)	V.C. Self Closing Device is required for the door leading to the Spk.
4)	Self Closing for Garage door. which leads to the truck.
5)	One Coat of Tape & Plaster is required for the Gypsum Pl common wall which separates Garages.
6)	200 of Bathroom of master bed Room until required door.

See plan received & accepted by P.S.F.

ISSUED BY: SIGNATURE [Signature] DATE: 08-02-20 PHONE: 5768021
RECEIVED BY: SIGNATURE _____ DATE: _____

RESIDENTIAL MECHANICAL VENTILATION RECORD **HRAI**
 For systems designed and installed in conformance with CAN-CSA F328 M91

MINIMUM VENTILATION CAPACITY (MVC)

Bs _____
 Otl _____
 Ba _____
 Otl _____
 Kit _____
 Bat _____
 Kit _____
 Bat _____

*Bldg. Dept.
 AHN:
 Rick Kavanagh
 Fax: 570-8160
 47 Harvey Rd*

61970021

LOCATION OF INSTALLATION

Lot & Plan # **Unit # 1**
 Address **47 Harvey Rd
 St. John's**
 BUILDER
 R-2000 ID # _____
 Name _____
 Address _____
 City _____ Code _____
 Tel. _____ Fax _____

RECEIVED
 AUG 26 1998

SYSTEM INSTALLED TO PROVIDE MVC

Manufacturer **Vaneer** HVI
 Model: **1000 HE**
 Design Airflow: **130** L/s High **65** L/s Low
81 % Sensible Efficiency @ 0°C **103** watts
69 % Sensible Efficiency @ 25°C **110** watts

ADDITIONAL VENTILATION EQUIPMENT

LOCATION	MODEL	L/S	SONES	HVI

INSTALLING CONTRACTOR

Name **Comfort Air Ltd**
 Address **P.O. Box 268**
 City **Upper Gullies** Code **AOA 410**
 Tel. **709-744-2770** Fax **709-744-2770**

MEASURED VENTILATION (MVC System)

Supply: **114** L/s High **50** L/s Low
 Exhaust: **114** L/s High **50** L/s Low

INSTALLATION CHECKLIST

controls functioning Fans operating & clean
 filters clean Flow Measuring Stations
 dampers accessible Insulated duct sealed
 Drain loop and connection
 Distribution to all rooms (non-forced air)
 Forced-air system continuous mode (coupled to forced air)
 grease filter kitchen intake
 Kitchen exhaust 4 ft from range
 exhaust 4" above grade supply 18" above grade
 supply intake 6ft from exhaust
 supply intake 3ft to other exhausts

Other: _____

HEATING SYSTEM

Forced Air Non Forced Air
 Electric Gas Oil Other _____

COMBUSTION APPLIANCES

No combustion appliances *No depressurization limit*
 Solid Fuel (including Fireplaces) *5 pa. limit*
 Direct Vent (Sealed Combustion) only *No dep. limit*
 Positive venting induced draft *5 pa. dep.*
 Natural draft or B vent *5 pa.*

OTHER EXHAUST EQUIPMENT

Clothes Dryer *75 L/s*
 Down-draft Cook-top *110 L/s*
 Other: _____

DEPRESSURIZATION TEST REQUIRED? yes no

DESIGNER CERTIFICATION

I hereby certify that this ventilation system has been designed & installed according to the requirements of CAN-CSA F328-M91

Name **Roger Graham**
 Signature _____
 HRAI# **V196-2898**
 Date **26 19 1998**



City Of St. John's

P.O. Box 908, St. John's, NF, Canada A1C 5M2 (709) 576-8600

99/01/19

Web Site: www.city.st-johns.nf.ca

OCCUPANCY CERTIFICATE

99 00046

Property Location:
47 HARVEY RD

Bldg. Roll#: 4380-1-0190-000-1

Listed Owner:

Approved Use:
CONDOMINIUM

313
0000

Units/Suites 3

Zone: CCM
COMMERCIAL CENTRAL MIXED

Work Orders Outstanding:
NIL

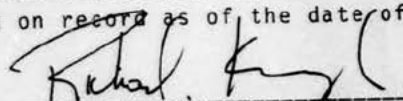
Conditions or Remarks:

TWO DWELLING UNITS & ARCHITECTURAL OFFICE.

This certificate reflects the information on record as of the date of issue.

DATE OF ISSUE: 1999/01/19

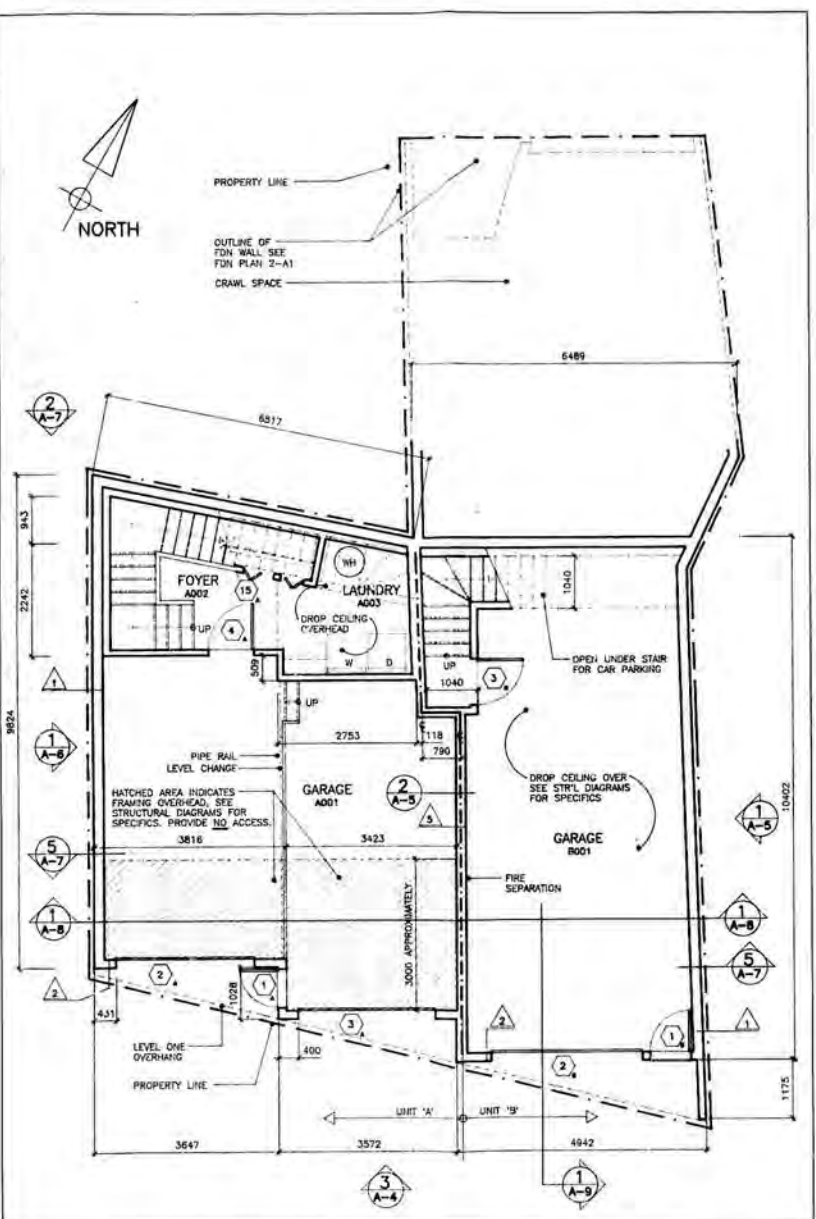
Signed



AUTHORIZED MUNICIPAL OFFICIAL

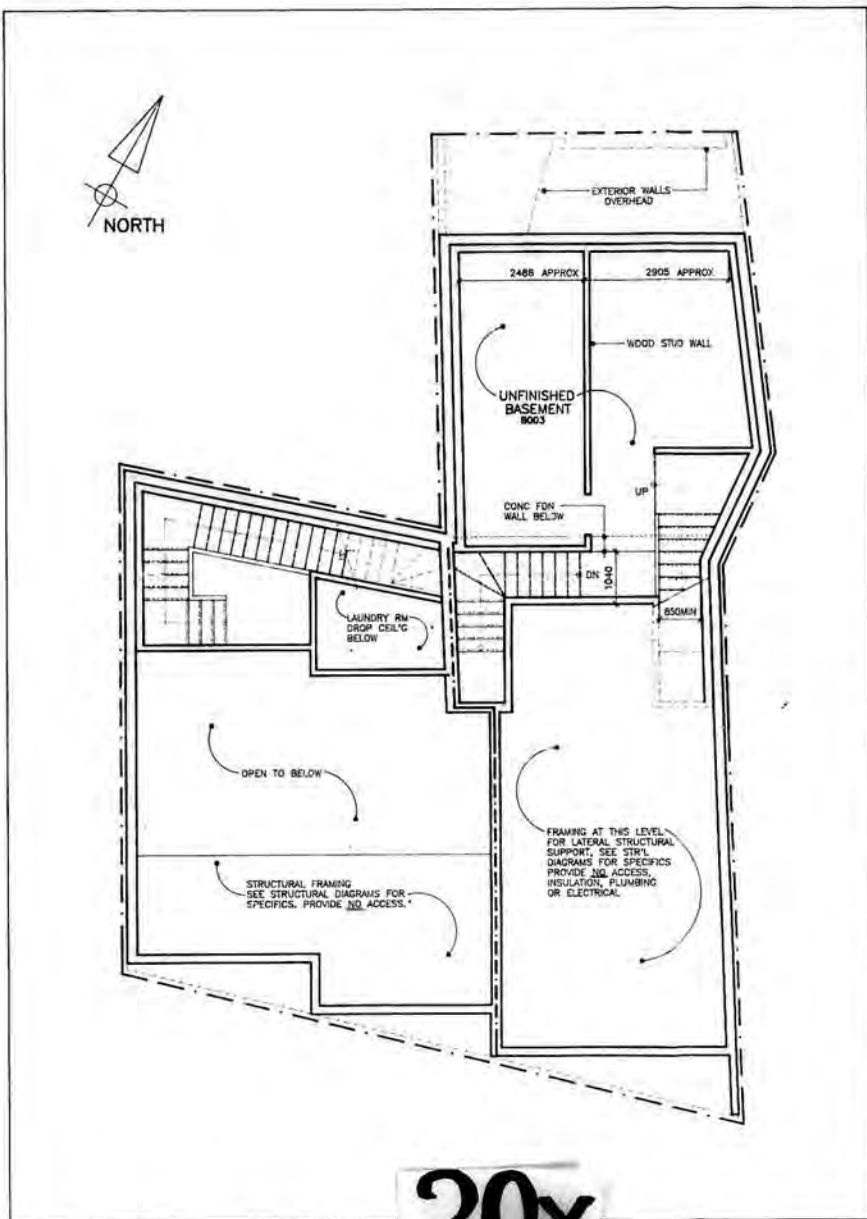
WORKING TOGETHER FOR A BETTER CITY





BASEMENT/GARAGE PLAN REVISED
SCALE 1:50

1
A-2



UPPER BASEMENT PLAN REVISED
SCALE 1:50

20x

2
A-2

- DO NOT SCALE FROM THESE DRAWINGS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES PACKAGE.

LEGEND

- A B AIR BARRIER
- V B VAPOUR BARRIER
- C V COMPLETE WITH
- G B GYPSUM BOARD
- W R G B WATER RESISTANT GYPSUM BOARD
- POLY POLYETHYLENE
- U S UNDERSIDE

No.	Description	Date	By
REVISIONS			



colette nap architect

po box 1124 at john's rd a/c 5m5
tel/fax 754-5745 cnap@evaton.nf.ca

Consultants

Project Title
#47 HARVEY ROAD
(50-52 LONG'S HILL)
ST. JOHN'S NEWFOUNDLAND

Drawing Title
REVISED BASEMENT PLANS

Des. By CEN	Chk. By CEN
Date OCT 27 1997	Scale AS SHOWN
Proj. No. 022-96	Rev. No. A-2