

QUIDI VIDI VILLAGE OVERLAY ZONE AND DESIGN GUIDELINES

FINAL Report

| MAY 2015 |



In Association with: Philip Pratt, Architect
Contact: Neil Dawe, President
100 LEMARCHANT ROAD | ST. JOHN'S,
NL | A1C 5K4 | CANADA
P. (709) 738-2500 | F. (709) 738-2499
NEIL@TRACTCONSULTING.COM |
WWW.TRACTCONSULTING.COM

Introduction 2

Part 1 – Existing Conditions..... 4

 Physical..... 4

 Regulatory Context..... 5

Part 2 – Vision and Objectives..... 8

 General Objectives 8

 Vision Statment 8

 Character Defining Elements..... 9

Part 3 – The Village Zoning Overlay, and Design Guidelines..... 10

 The Quidi Vidi Village Design Guidelines..... 15

 The Quidi Vidi Village Overlay Zone 17

Part 4 – Implementation of the Overlay Zone and Design Guidelines..... 20

Appendix A – Quidi Vidi Village Design Guidelines

Appendix B – Quidi Vidi Village Overlay Zone

INTRODUCTION

Quidi Vidi Village is many things to many people; a unique residential neighbourhood, a popular tourist attraction, and a historic outport fishing village. It’s inherent character and varied natural, cultural and historical qualities, make it an area which is valuable to both the general public and to the residents who live there.

The previous well received Quidi Vidi Village Development Plan, undertaken by Tract Consulting on behalf of the City of St. John's and presented in 2006, represented a significant effort, on behalf of Village residents, property owners, and visitors to the Village, to carefully plan the future of the Village.

The objective of this current study, again being undertaken at the initiative of the City, is to build upon the Development Plan from 2006; to review and confirm if that report's conclusions and recommendations are still valid, and to refine the earlier report's recommendations to create an overlay zone and design guidelines for Quidi Vidi Village. An overlay zone is a regulatory mechanism that will apply specific development controls and design guidelines to the Village. These additional controls and guidelines will be applied as a supplement to the basic zoning.

The 2006 Development Plan and the current study should be read in conjunction and utilized together to plan for and guide the future development of the Village. In principle, the aim of both is to maximize the development potential in the Village while retaining the core elements which give the Village its unique character.

The priorities which guided the development of this current Overlay Zone study for are listed below:

- Protect the unique character of the Village through a Character Defining Statement that will direct all future development within the Village.
- Enhance the livability of the Village for its residents by identifying possible solutions for ongoing issues that residents currently experience.
- Establish development guidelines and controls and outline how they will affect each individual property within the historic portion of the Village.
- Define and enhance the Village and its surroundings as a high quality visitor attraction through identification of harbor development opportunities, culturally significant features and landscapes which will be reflected in the design guidelines proposed for the study area.



Figure 1 – Quidi Vidi Village



Figure 2 – Fishing Stages and Sheds on the North side of the harbour

As there are different groups and individuals that value and have interests in the Village, use the space, and have different visions and expectations for its future, there are many factors to consider in the development of this Overlay Zone. It is hoped that all those invested in the Village will strive to understand and recognize that:

- Ongoing development in historical areas can be challenging for all those affected. There may be trade-offs for residents in which some aspects of daily life in the Village improve in ways that align with the residents' goals, and others that do not.
- Recommendations for renovations, extensions or redevelopments of properties in the Village will vary for individual properties.
- As Quidi Vidi Village is a major tourist attraction located in the City of St. John's, there will be more tourists and visitors around the Village than in most of the other residential neighbourhoods in the city.
- More disruption from time to time will be experienced in the Village when businesses or groups hold special events.
- There will be development controls and design guidelines which are intended to protect existing houses which could potentially limit the development potential of certain properties. Projects that don't seem to comply, can be considered if applicants can demonstrate to the City's satisfaction that the proposed project is in keeping with the intent of the Overlay Zone.
- It is better to control development in the Village through an Overlay Zone than to proceed with haphazard development proposals that do not uphold the special character of the Village.

This report, which supports the Overlay Zone concept for the Village, is divided into four (4) parts:

Part 1-The Existing Conditions

A discussion of the existing physical and regulatory conditions in the Village.

Part 2-Objectives and Vision

A confirmation of the objectives of this current study and vision for the Village through the presentation of a Character Defining Statement.

Part 3-The Village Overlay Zone and Design Guidelines

A review of the Overlay Zone and the proposed development controls and design guidelines.

Part 4-Implementation of the Village Overlay Zone and Design Guidelines

Recommendations on how the Overlay Zone and design guidelines should be incorporated into the City of St. John's Development Regulations and the City's development review process.



Figure 3 - The Flake House and the Plantation

PART 1 – EXISTING CONDITIONS

A discussion of the existing physical and regulatory conditions in the Village.

PHYSICAL

General Description

Quidi Vidi Village, now part of St. John’s, is a definable area with distinct characteristics. It is still a small village wrapped around a sheltered harbour. There is a mixture of new and old structures, and a large amount of open space. The harbour and older part of the village is a relatively compact area, with an eclectic collection of small structures. This is part of its character and charm, and along with the harbour, the river, and dramatic picturesque setting creates the unique visual and social space.

Perception

Quidi Vidi Village is perceived as being an historic fishing village, while In fact, only a small portion of this actually remains intact, and there is quite a bit of out of period development. However, it still has the essential feeling because of the small structures and the setting. It conjures up romantic notions, and there is still a ‘collective memory’ and shadows of the historic past.

The Harbour & Physical Setting

The harbour, river and dramatic physical setting are the strongest visual and romantic resource. This setting is dominated by the north side rock cliffs and wooded open space, by the harbour entrance, and by the river when visible from various vantage points. The harbour itself is small but well protected. A difficult entrance is unusable at times and only for small craft. Outside of the harbour is the exposed North Atlantic.

The present uses of the harbour include small commercial fishing, recreational boating, and tourist amenities. The facilities (in various states of repair) include two public slip ways, several stages, sheds, wharves and breast works, the Quidi Vidi Brewery, the Flakehouse property, and the Quidi Vidi Plantation. The harbour is administered by overlapping jurisdictions including the City of St. John’s, and the Department of Fisheries and Oceans. The main characteristics to be encouraged through the overlay zone and accompanying documents are the picturesque quality, activity regeneration of the existing uses, and the romantic notion of the historic fishing village.



Figure 4 - The rows of new houses on the ridge do not fit with the Village character.



Figure 5 - The Slipway between the Plantation and the Flakehouse.

Connectivity and Open Space

The open spaces and pathways throughout Quidi Vidi Village have responded to the topography and land use patterns and help maintain the historic village feeling. They provide recreational amenities for all types of users, help maintain the ecological integrity of the area, and are an integral part of the village character. These spaces must be protected, improved where possible, and made more accessible.

Buildings and Structures

Quidi Vidi Village contains a mixture of old, middle aged, and new structures. Except for the harbour front, they are mainly houses of a fairly simple period vernacular style. Some of the newer ones are quite large relative to their context. Building condition seems to vary, although most seem to be in fair to good condition. Many of the older houses have been renovated in ways that diminish their heritage character.

The waterfront structures are more mixed, from tiny sheds, wharves and stages, to larger commercial and residential premises. Some of the wharves and stage structures seem to be in poor condition, not suited for public use.

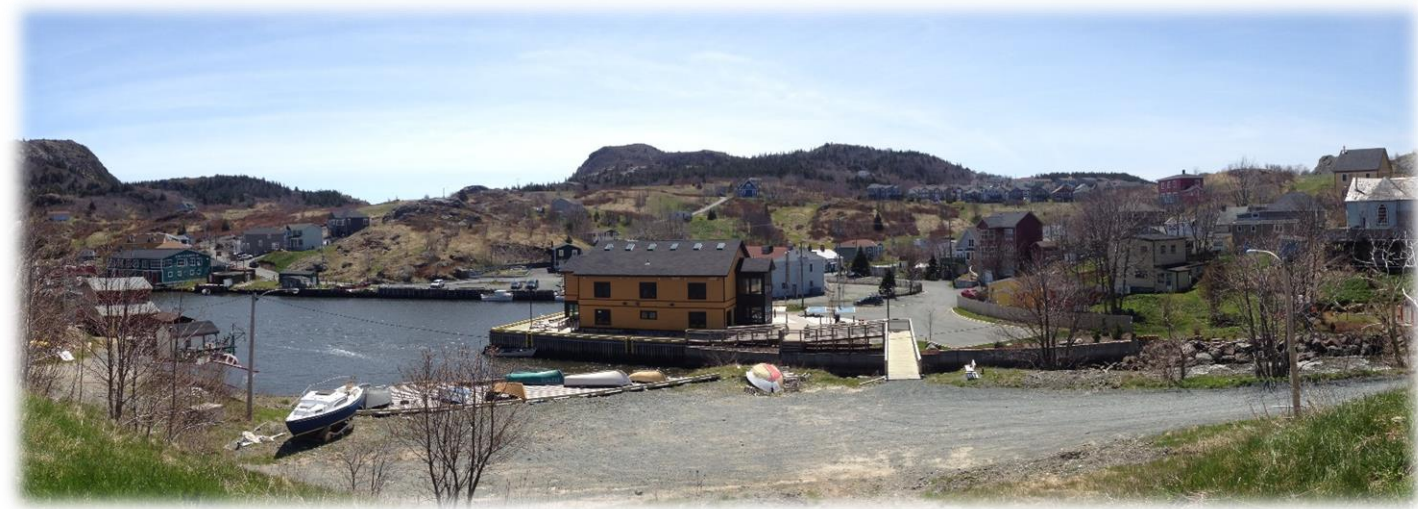


Figure 6 - The Plantation, Slipway, and Pedestrian Bridge

As opposed to the newer developments, the older village and harbour structures are randomly located as they conform to the irregular topography. Together with the dramatic physical setting they are a key part of the romantic village notion. **All of the structures have been evaluated in terms of their contribution to the picturesque and historic quality of the village.** This evaluation has been used as a basis for the proposed zoning and development guidelines.



Figure 7 - View of `the gut`

REGULATORY CONTEXT

The Planning Area 2 Development Plan

Quidi Vidi Village is located within Planning Area 2 (East End, the Battery, Quidi Vidi Village) of the current St. John's Municipal Plan. The objectives of the Planning Area 2 Development Plan, which is a part of the Municipal Plan, are to preserve and enhance:

- 1. Landmarks, heritage buildings, historic landscapes, natural features, and recreation facilities;
- 2. Views of Signal Hill and Quidi Vidi Lake; and
- 3. Residential neighbourhoods.

The basic policy intent of the Planning Area 2 Development Plan is to prevent change markedly at variance with existing dwelling types in residential neighbourhoods. For example, if there is a mixture of two and three-storey single detached and semi-detached dwelling types on large lots in a neighbourhood, then only dwellings of this

nature and scale on large lots will normally be considered for approval; and if the predominant housing form is the bungalow, then only dwellings fitting this scale of housing will normally be considered for approval.

The Planning Area 2 Development Plan is further categorized into nine (9) sub-areas and the Development Plan sets out specific policies for each of the sub-areas. Quidi Vidi Village is one of the sub-areas. The Development Plan provides that the general policy is to protect the basic character of historic Quidi Vidi Village and surrounding scenic and historic sites without jeopardizing reasonable opportunities for development. The Development Plan notes that to this end, the developed part of the Historic Village around the Gut shall be developed so as to retain uses and densities that presently characterize the area.



Figure 8 - There are narrow, winding streets without sidewalks through much of the Village.

The specific policy under the Development Plan for the Village are as follows:

1. Within the residential historic Village, single-detached, semi-detached, and row house dwellings may be allowed along with custom workshops.
2. In the harbour-side area, harbour, and food and beverage industrial uses, commercial and offices accessory to these industrial uses, and restaurants may be permitted on condition that such uses are scaled in a manner consistent with the character and scale of the historic Village.

3. Lands at the eastern extremity of Quidi Vidi Lake are retained as public open space to protect and historical site and an important part of the Quidi Vidi-Rennie's River trail and park system.
4. A road may be developed through this area provided the need for such a road is re-established; a Land Use Assessment Report and an Environmental Analysis Report has been carried out; and the road is visually subordinate to the site's natural features.

The Planning Area 2 Development Plan calls for the preservation of open space-the preservation of the scenic setting of the Village by reserving all surrounding hills as open space, particularly the coastal hills and the foreshore of all nearby ponds and lakes, the linkage between Quidi Vidi Lake and the Signal Hill National Historic Park and the East Coast Trail between Robin Hood Bay and the Village.

The Development Plan also calls for the preservation and development of historic sites and providing them with a suitable setting by retaining the surrounding natural landscape and linking them where possible by landscaped corridors, so that "historic trails" can be developed.

As well, the Development Plan calls for the preservation and control of recreation facilities-the preservation and development of some recreation space for Village use; an open space that has a regional importance as a recreation or amenity centre-the Development Plan notes that the surface of Quidi Vidi Lake and the shores of the Lake within 60 metres of the high water mark represent such a resource. The Development Plan notes that open spaces that may not specifically be required as active open space but which are not easily developable as a result of topographic conditions and should be preserved as open space to separate the old Village from new urban development.



Figure 9 - Active Fishing stages along the North side of the harbour.

Current Zoning in Quidi Vidi Village

Current zoning designations for Quidi Vidi Village under the St. John's Development Regulations contain two zones that are specific to Quidi Vidi Village and which are only used in the Village:

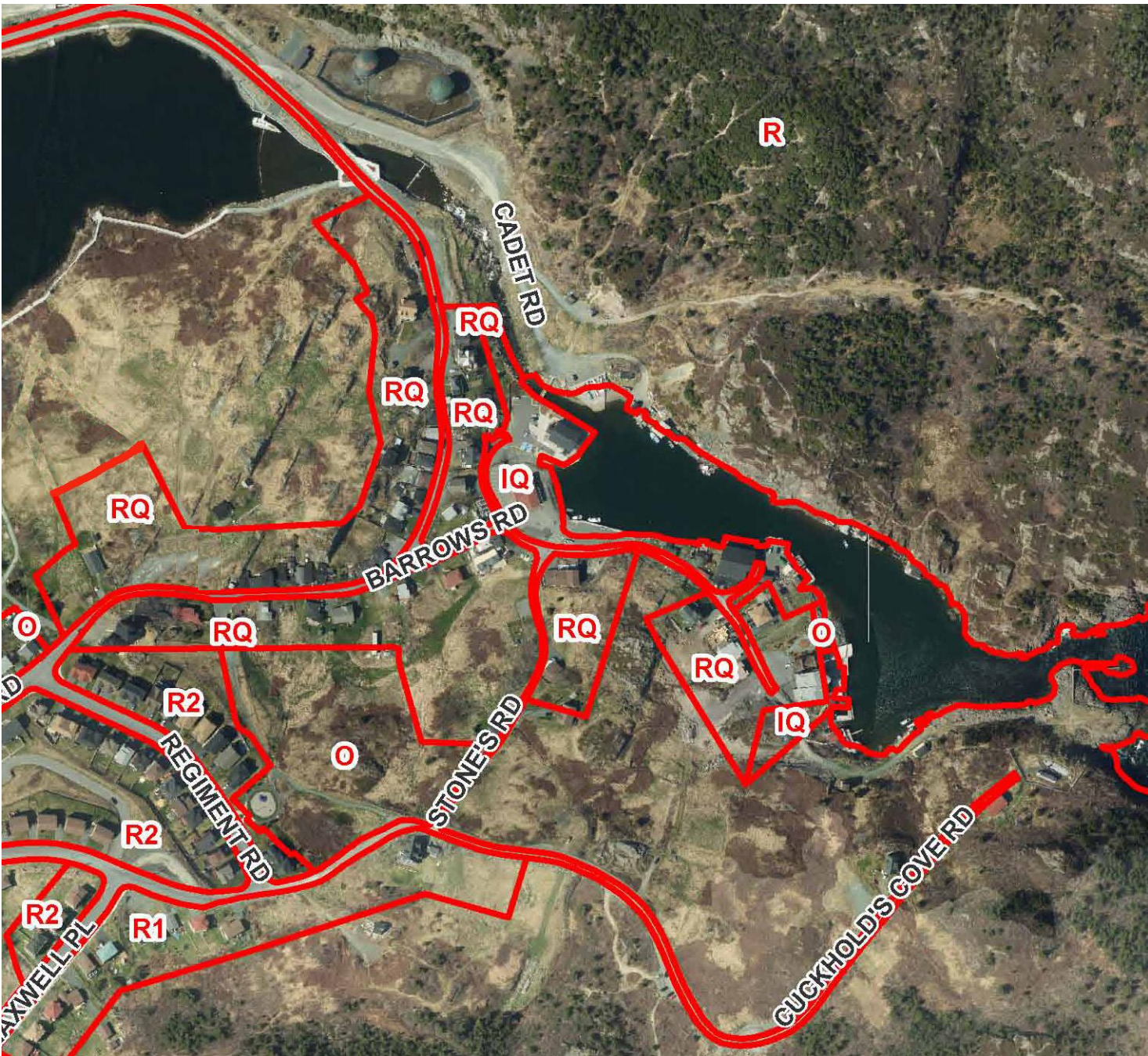


Figure 10 - The Existing Zoning of Quidi Vidi Village

1. **The Residential Quidi Vidi (RQ) Zone** which is generally assigned to the residential areas of the historic section of the village. This zone allows single-detached houses, semi-detached houses (2 units attached side by side) and duplexes (2 units-one unit on top of the other) as Permitted Uses. The RQ Zone recognizes the generally very small size of buildings lots in the Village through the minimum lot area, minimum lot frontage and minimum building line requirements.
 - **Single-detached houses:** minimum lot area of 200 m²/minimum lot frontage 8 metre; building line of 0 metres.
 - **Semi-detached houses:** minimum lot area of 140 m² per dwelling unit/minimum lot frontage of 7 metres per dwelling unit; minimum building line of 0 meters.
 - **Duplex dwellings:** minimum lot area of 240 m²/minimum lot frontage of 12 metres/minimum building line of 0 metres.
2. **The Industrial Quidi Vidi (IQ) Zone** used around the harbour, which allows the following uses as Permitted Uses: fish processing; food and beverage industrial uses provided such uses are in appropriate scale; harbour use; and handcrafts and cottage industries. The IQ Zone also allows the following uses as discretionary uses: accessory commercial uses; accessory parking area; accessory warehousing and eating establishments. The Zone requirements for the IQ Zone are as determined by the St. John's Municipal Council.

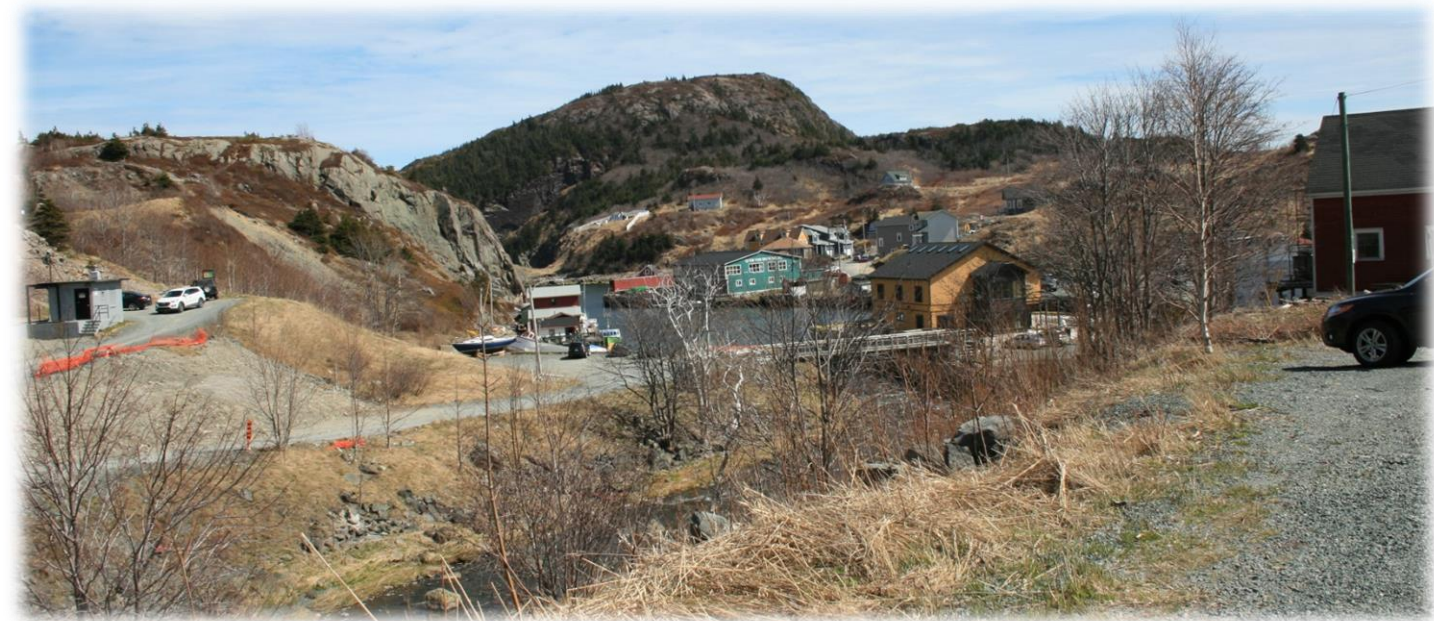


Figure 11 - View from the approach from the Pleasantville side.

PART 2 – VISION AND OBJECTIVES

GENERAL OBJECTIVES

The objective of this study is to build upon the Quidi Vidi Village Development Plan from 2006 by creating an overlay zone and design guidelines that will protect the unique character of the Village. As mentioned in earlier sections, the priorities for obtaining this objective are based in respecting and enhancing the quality of life for residents, the tourist experience and varied attractions, and the historical asset that remains of the outport fishing Village. It is necessary to further define the elements that build the character of the Village; through analyzing what residents, visitors, and businesses want and need within the Village.

VISION STATMENT

In preparation of a vision for the Quidi Vidi Village overlay zone, it is necessary to consider the wants and needs of the varied users in the village. Through consultations we have learned that from a resident’s perspective, it is important that Quidi Vidi Village develop in such a way to enhance the quality of life through the restoration, development and maintenance of residential amenities such as play areas for children, safe and controlled pedestrian and motorized movement throughout the Village, ability to develop their own property, natural amenities such as viewsapes, privacy, and access to nature, and protection from the disturbance of excessive noise, light, traffic, and parking.

From the perspective of a visitor, it is important that Quidi Vidi Village develop in such a way that enhances the historic fishing village character, offers more attractions (boat tours, hiking tours, historic walking tours) and services (washrooms, shopping, crafts, gifts, food and beverages), eases access to the Village through pedestrian way finding signage, and encouragement of alternative transportation methods to the Village, and offers more visitor information.



Figure 12 - The view of Quidi Vidi Harbour from the North West side of the harbour.

THE VISION FOR QUIDI VIDI VILLAGE IS

Quidi Vidi Village is an area that should remain distinct and defined by its character, which is in turn rooted in its inherent, natural, cultural and built heritage. It should continue to be a good place to live and an interesting place to visit.

CHARACTER DEFINING ELEMENTS

The Village character is defined by the following elements:

The Harbour and the Physical Setting

The harbour, river and the exposed bedrock and steep slopes, are the Village's strongest resource. This setting is dominated by the north side rocks and open space and by the harbour entrance and river when visible from various key vantage points. The view of the north side rock cliffs and stages is considered by many to be one of the most striking public views not only in the Village but in the entire city. The harbour itself is small but well protected.

Ridges and Tops of Hills

The ridges and hill tops provide a "circle of green" around the Village, thereby maintaining the rural character and scenic visual quality and providing large amounts of open space in the Village. Development has historically not taken place in these areas and the City's zoning practice has been to reserve out these ridges and hilltops as open space. Keeping development off these higher elevations, in areas zoned as Open Space, has provided a natural buffer between the Village and the Signal Hill National Historical Park.

Views and View Planes

There are a number of prominent public views and view planes to be found in the Village. As noted above, the view of the north side rocks by the harbour and the ridges and hilltops provide many important views. This Overlay Study has examined the important public views that must be protected and the Study report's recommendations are designed to work to ensure this protection occurs in the review of future development proposals.

There is an existing municipal park located at Civic Number 45 Barrow's Road. The park was requested by the residents' group in Quidi Vidi Village and an approved park plan was implemented by the City. Trees were planted as part of the development of the park. The City's Parks Division has advised that City staff can control the growth of trees at this park so as to protect views. For the interim, the City's Pruning Crew can prune the trees into a shrub form suppressing the growth. From there, the Pruning Crew can continue to do this once or twice a year as needed and monitor the health of the trees to see how they take this type of pruning over the long term. If they do not adjust, the trees will have to be replaced with some lower growing shrubs. With respect to the additional park development, the City's Parks Division advises that it will be evaluated and prioritized within the scope of the budget.

Paths and Pedestrian Network

There are a number of formal and informal pedestrian walkways both within the Village and to points outside the Village. The Village serves as type of "trail hub" to the East Coast Trail, to the Downtown, to the Grand Concourse Trail System and to Signal Hill National Historical Park. The pathways, trails and open spaces throughout the Village help maintain the historic feeling, provide recreational amenities to all types of users and work to preserve the ecological integrity of the area. These features are an integral part of the Village character and their importance must be recognized and measures set out to protect them.

There is an existing trail that runs near the “Christ Church Building” at Quidi Vidi Village Road down to Mapleview Place (see reference map in Appendices – Area G pg.37). It is recommended the City confirm ownership of the trail and make improvements (ie. A good walking surface and appropriate signage) so that people will be aware of the trail and feel free to use it.

Buildings and Structures

The hodge podge collection of mainly small simple houses, stages, sheds and wharfs.

The Image of Quidi Vidi Village as a Traditional Fishing Village

Quidi Vidi Village is perceived by many persons as a small historic fishing village. While there is quite a bit of "out of period development", it still has that outport fishing village feeling and image to many because of the narrow roads, the small structures and the setting dominated by the harbour and the dramatic steep and rugged landscape. It is also interesting to note that while the Village has an outport fishing village feeling and image, it's location within the east end of the city offers ready pedestrian access within minutes to the Downtown.



Figure 13`- This image shows the romantic notion of the old fishing village.

PART 3 – THE VILLAGE ZONING OVERLAY AND DESIGN GUIDELINES

This section makes recommendations for zoning, associated development standards and guidelines. There are three main categories- the proposed land use zoning designations; the overlay zoning which makes specific recommendations for each property in the Village which is proposed to be included in the Overlay Zone; and design guidelines.

Proposed New Zone Designations

The proposed new zone designations are based on the existing conditions in relationship to the objectives for protecting and enhancing the Village character. They are recommended as a basis for the Overlay Zone. The zone characteristics, recommended permitted and discretionary uses, requirements, and standards are described in detail in the following pages.

Quidi Vidi Village Harbour (QVH) Zone

The Quidi Vidi Village Harbour Zone area is a mix of structure types, condition, use, style and size. It is in part this mix that is important. **The standard is that renovations, new construction and remedial measures should be in scale and have the look and feel of a ‘traditional fishing village’.**

Quidi Vidi Village (QVV) Zone

The Quidi Vidi Village Zone area is mainly a mix of old and new houses. They are generally simple in style and there has been a lot of out of period renovation. New houses tend to look out of place because of their size and contemporary style. **The standard is that renovations, new construction, and remedial measures should be in scale and look and feel like they are “In period”.**

Quidi Vidi Village Residential (QVR) Zone

The Quidi Vidi Village Residential area is the area on the outskirts of the historic Village that is within the viewshed of the harbour. **The standard is that renovations, new construction and remedial measures should be in scale and “Balanced” between traditional and contemporary.**

Open Space (OS) Zone

This includes existing and proposed open space in and around the Village. There should be no new development in the OS zone, other than pedestrian infrastructure.

Existing Adjacent Zones

The adjacent existing zones that are recommended to remain as they are include the Residential Low Density (R1) Zone and the Residential Medium Density (R2) Zone. These existing zones are on the perimeter and have already been developed or approved. The houses are contemporary in design. The main visual features are the larger size, standardized building setbacks of the homes and the consistency of building styles and appearances.



Figure 14 - Quidi Vidi Village has a mix of housing types.

QUIDI VIDI VILLAGE PROPOSED NEW ZONE DESIGNATIONS (SCHEMATIC)

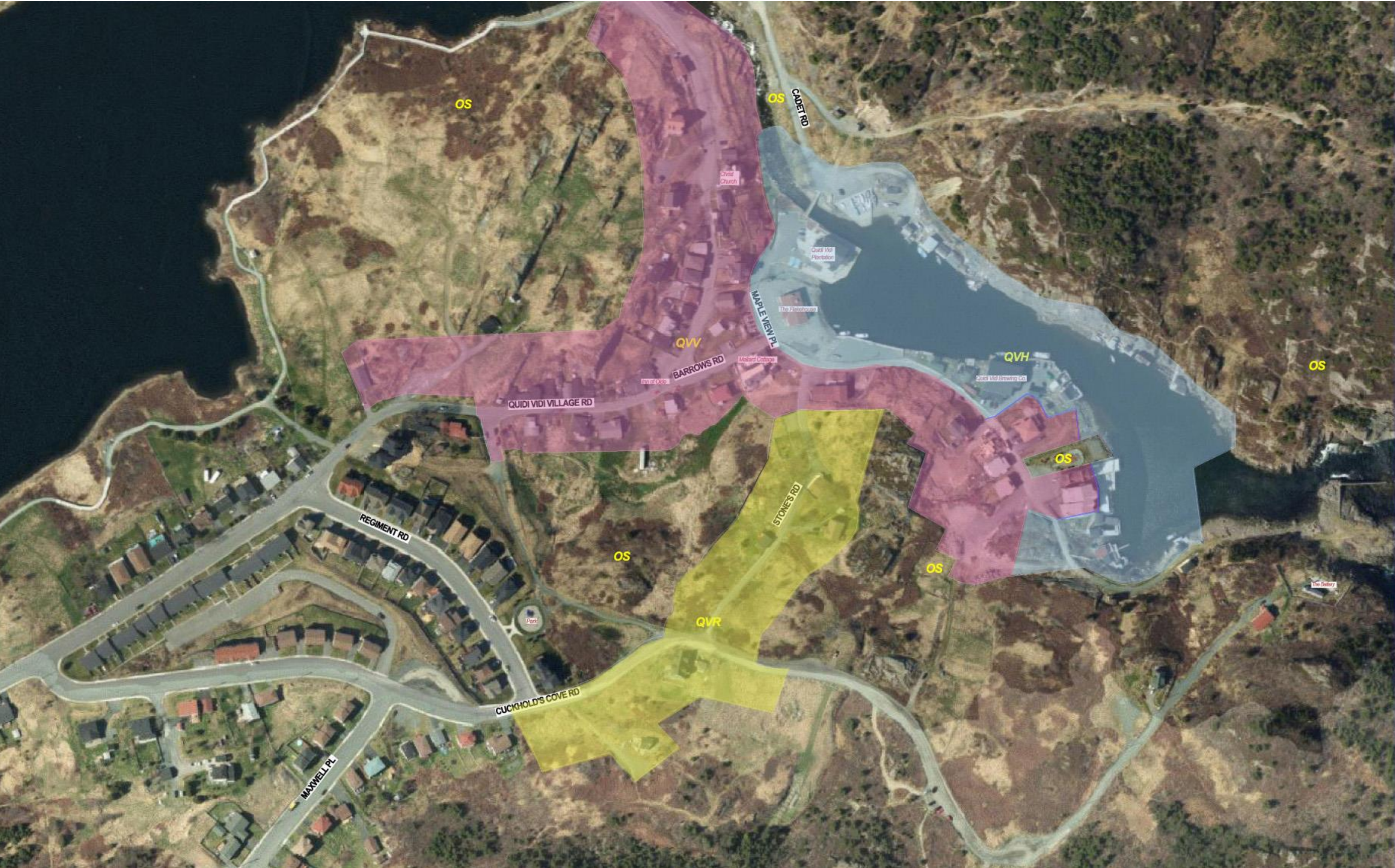


Figure 15 - Quidi Vidi Village Proposed New Zone Designations (SCHEMATIC)

QUIDI VIDI VILLAGE PROPOSED NEW ZONE DESIGNATIONS OVERLAID ON EXISTING ZONE DESIGNATIONS (SCHEMATIC)

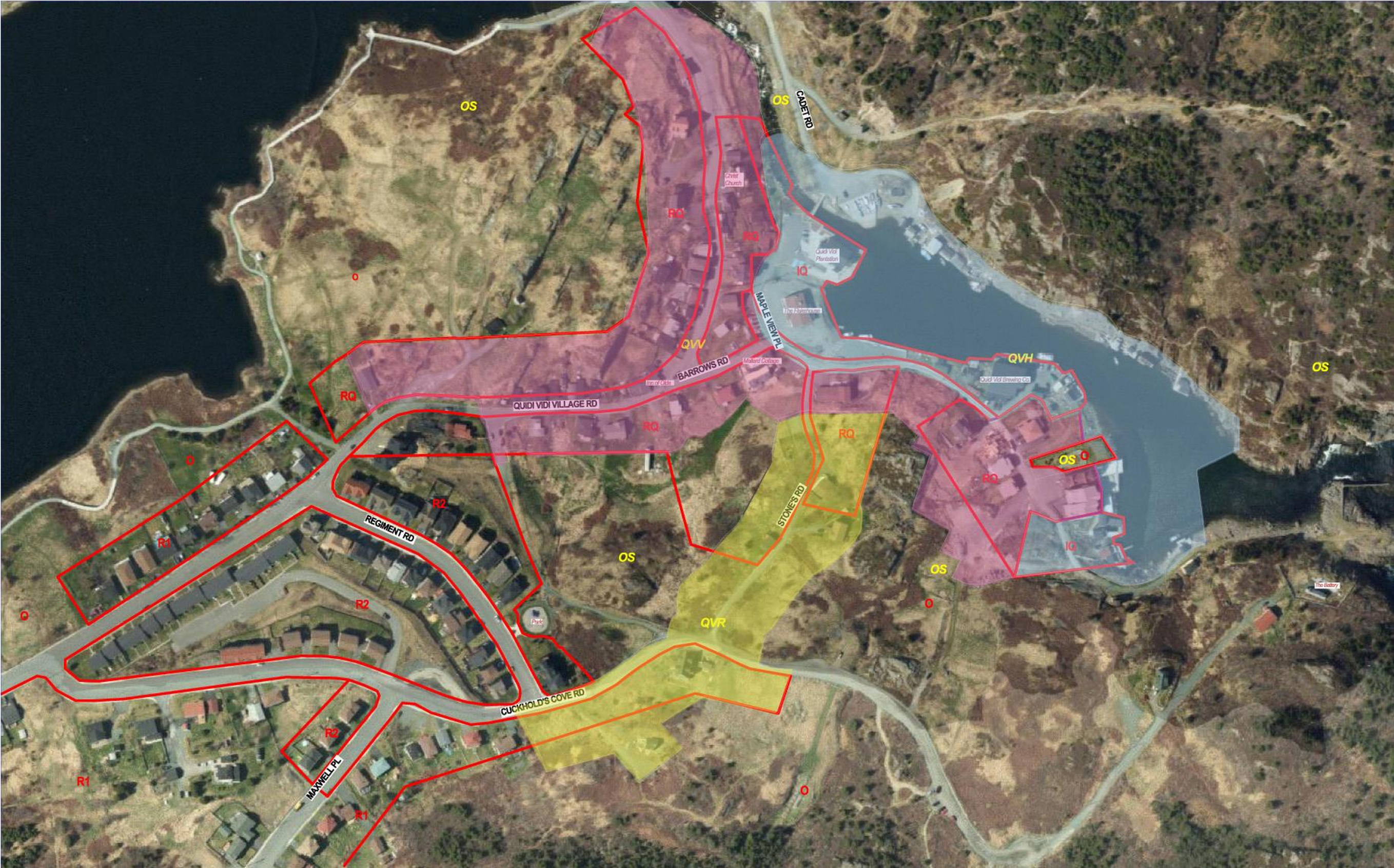


Figure 16 - Quidi Vidi Village Proposed New Zone Designations overlaid on the Existing Zone Designations (SCHEMATIC)

	Quidi Vidi Harbour (QVH)	Quidi Vidi Village (QVV)	Quidi Vidi Village Residential (QVR)
Permitted Uses	<div><div></div><div><div>(a) Fish Processing</div><div>(b) Food and beverage industrial uses provided that such uses are, in Council's opinion, in appropriate scale</div><div>(c) Harbour Use</div><div>(d) Handcrafts and Cottage Industries</div><div>(e) Public Use</div><div>(f) Public Utility</div></div></div>	<div><div>Residential</div><div><div>a) Accessory Building (Subject to Section 8.3.6 of the Development Regulations)</div><div>b) Bed and Breakfast (Subject to Section 7.27 of the Development Regulations)</div><div>c) Boarding or Lodging House (accommodating between 5 and 16 persons)</div><div>d) Home Office (Subject to Section 7.9 of the Development Regulations)</div><div>e) Single-Detached Dwelling</div><div>f) Subsidiary Apartment</div></div><div>Private/Commercial</div><div><div>a) Custom Workshop</div><div>b) Retail Store (Not exceeding a Floor Area of 100 Square Metres)</div><div>c) Service Shop</div><div>d) Parking Lot Accessory to Custom Workshops, Retail Stores and Service Shops</div></div><div>Recreational</div><div><div>(a) Park</div></div><div>Other</div><div><div>a) (a) Family Home Child Care Service (Subject to Section 7.6 of the Development Regulations)</div></div></div>	<div><div>The Permitted Uses for the QVR Zone are proposed to be the same as the proposed Permitted Uses for the QVV Zone with the addition of the following uses:</div><div>Residential</div><div><div>a) Duplex Dwelling</div><div>b) Semi-Detached Dwelling</div></div></div>
Discretionary Uses	<div><div></div><div><div>a) Accessory Commercial Use</div><div>b) Accessory Parking Area</div><div>c) Accessory Warehousing</div><div>d) Eating Establishment (Subject to Sections 7.22 and 7.30 of the Development Regulations)</div></div></div>	<div><div></div><div><div>a) Day Care Centre (Subject to Section 7.3 of the Development Regulations)</div><div>b) Duplex Dwelling</div><div>c) Heritage Use</div><div>d) Home Occupation (Subject to Section 7.8 of the Development Regulations)</div><div>e) Parking Lot (Subject to Section 7.13 of the Development Regulations)</div><div>f) Planned Unit Development (Subject to Section 5.10.3 of the Development Regulations)</div><div>g) Private Park</div><div>h) Public Use</div><div>i) Public Utility</div><div>j) Semi-Detached Dwelling</div><div>k) Tourism Use</div></div></div>	<div><div>The Discretionary Uses for the QVR Zone are proposed to be the same as the proposed Discretionary Uses for the QVV Zone, with the exception that duplex dwellings and semi-detached dwellings are proposed to be allowed as Permitted Uses rather than Discretionary Uses in the QVR Zone.</div></div>

	Quidi Vidi Harbour (QVH)	Quidi Vidi Village (QVV)	Quidi Vidi Village Residential (QVR)
Zone Requirements	<p>Zone requirements for the Quidi Vidi Village Harbour Zone are as determined by Council.</p>	<p>The following requirements shall apply to:</p> <ol style="list-style-type: none"> 1. Bed and Breakfast (Subject to Section 7.27 of the Development Regulations) The same requirements as established for the Dwelling types in this Zone. 2. Board or Lodging House The same requirements as established for the Dwelling types in this Zone. 3. Duplex Dwelling <ol style="list-style-type: none"> (a) Minimum Lot Area: 240 square metres (b) Minimum Lot Frontage: 12 metres (c) Minimum Building Line: 3 metres or as determined appropriate by Council on a site specific property basis (d) Minimum Side Yards: Two yards of 1.2 metres (e) Minimum Side Yard on Flanking Road : 1.8 metres (f) Minimum Rear Yard: 3 metres 4. Semi-Detached Dwelling <ol style="list-style-type: none"> (a) Minimum Lot Area: 140 square metres per Dwelling Unit (b) Minimum Lot Frontage: 14 metres; 7 metres per Dwelling Unit (c) Minimum Building Line: : 3 metres or as determined appropriate by Council on a site specific property basis (d) Minimum Side Yards: Two of 1.2 metres (f) Minimum Side Yard Requirement on Flanking Road: 1.8 metres (e) Minimum Rear Yard: 1 metres 5. Single-Detached Dwelling <ol style="list-style-type: none"> (a) Minimum Lot Area: 200 square metres (b) Minimum Lot Frontage: 8 metres (c) Minimum Building Line: 3 metres or as determined appropriate by Council (d) Minimum Side Yards: Two of 1.2 metres (e) Minimum Side Yard on Flanking Road: 3 metres or as determined appropriate by Council on a site specific property basis (f) Minimum Rear Yard: 3 metres 6. Private/Commercial As determined by Council 7. Day Care Centres in a Non-Residential Building <ol style="list-style-type: none"> (a) Minimum Lot Size: 450 square metres (b) Minimum Lot Frontage: 15 metres (c) Minimum Landscaping on the Lot: Subject to Section 8.5.1 of the Development Regulations 	<p>Similarly to the QVV Zone Requirements, The following requirements shall apply to:</p> <ol style="list-style-type: none"> 1. Bed and Breakfast (Subject to Section 7.27 of the Development Regulations) The same requirements as established for the Dwelling types in this Zone. 2. Board or Lodging House The same requirements as established for the Dwelling types in this Zone. 3. Duplex Dwelling <ol style="list-style-type: none"> (a) Minimum Lot Area: 240 square metres (b) Minimum Lot Frontage: 12 metres (c) Minimum Building Line: 3 metres or as determined appropriate by Council on a site specific property basis (d) Minimum Side Yards: Two yards of 1.2 metres (e) Minimum Side Yard on Flanking Road : 1.8 metres (f) Minimum Rear Yard: 3 metres 4. Semi-Detached Dwelling <ol style="list-style-type: none"> (a) Minimum Lot Area: 140 square metres per Dwelling Unit (b) Minimum Lot Frontage: 14 metres; 7 metres per Dwelling Unit (c) Minimum Building Line: : 3 metres or as determined appropriate by Council on a site specific property basis (d) Minimum Side Yards: Two of 1.2 metres (f) Minimum Side Yard Requirement on Flanking Road: 1.8 metres (e) Minimum Rear Yard: 1 metres 5. Single-Detached Dwelling <ol style="list-style-type: none"> (a) Minimum Lot Area: 200 square metres (b) Minimum Lot Frontage: 8 metres (c) Minimum Building Line: 3 metres or as determined appropriate by Council (d) Minimum Side Yards: Two of 1.2 metres (e) Minimum Side Yard on Flanking Road: 3 metres or as determined appropriate by Council on a site specific property basis (f) Minimum Rear Yard: 3 metres 6. Private/Commercial As determined by Council 7. Day Care Centres in a Non-Residential Building <ol style="list-style-type: none"> (a) Minimum Lot Size: 450 square metres (b) Minimum Lot Frontage: 15 metres (c) Minimum Landscaping on the Lot: Subject to Section 8.5.1 of the Development Regulations
Zone Design Standards	<p>The standard for renovations, new construction and remedial measures is to make it look and feel like a ‘traditional fishing village’. Because of its diverse quality, it can only be done on a property and property basis.</p>	<p>Renovations adhere to their original appearance, and that new buildings be in scale, with close adherence to traditional stylistic elements</p>	<p>Renovations adhere to their original appearance and that new buildings be compatible and unobtrusive in their size, appearance, and how they are grouped.</p>

THE QUIDI VIDI VILLAGE DESIGN GUIDELINES (SEE APPENDIX A)

This section defines the character of traditional buildings in terms of their Form, Appearance and Site Development. Each is further divided into character components, and they in turn are described through a combination of text and graphics. There are three categories, “acceptable options and variations” for renovations and new construction. They are based on our analysis of Traditional and Non Traditional structures.

The design guidelines are presented in Appendix A of the report. The organization of the design guidelines has been constructed so that both regulators, residents and property owners can quickly reference and determine the suitable Building Appearance, Building Form, and Site Development guidelines for their particular property, as per their property description in the Overlay Zone. An example of the Design Guidelines Table is shown below in Figure 17.

BUILDING APPEARANCE			ACCEPTABLE VARIATIONS FOR BUILDINGS		
Component	Recommended	Not Recommended	Schedule A	Schedule B	Schedule C
	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	Pre 1949 NL Domestic Vernacular Buildings	Most common and visible "modern" elements	Similar to Traditional with some practical variations	Looks and feels like it belongs	Mix of contemporary and traditional
WINDOWS					
Type and Style	Double Hung Shop Windows Shed Windows	Anything else, especially: Horizontal Sliders Casements Geometrics	See Traditional	See Traditional and add larger windows, sliding doors	See Schedule B
Groups/ Pattern	Single or groups of 2 Usually symmetrical or balanced.		See Traditional	See Traditional corner windows and add	See Schedule B and add picture windows
Trims	5 1/2" Top and Sides 1 1/2" Water Tables (drip mouldings) Top and Bottom	Anything Else	See Traditional	See Traditional	See Schedule A and add approved wide vinyl trims
Sash and Frame	Wood	Anything Else	See Traditional and add metal and fiberglass.	See Schedule A	See Schedule A and add vinyl
DOORS					
Type/Style and Pattern	Wood Panel Slightly more elaborate trims May be glazed May have side lights	Slab doors Shaped windows	See Traditional and add metal doors	See Schedule A	See Schedule A

Figure 17 - An example of the Quidi Vidi Design Guidelines Table

Traditional

This section shows most common and pervasive attributes of basically pre 1949 Newfoundland Vernacular Domestic Buildings.



Figure 18 - This old house is "traditional" in all senses including fences, rails, the shed in the back and the stone walls.

Non Traditional

For clarity, we have included more common and visible features that deviate from the traditional character. Windows and roof form are the most usual items.



Figure 19 - These houses while fine in their own right are "out of character" for Quidi Vidi Village.



Figure 20 - The larger houses are "out of character" and "out of scale", especially in relationship to the more "authentic" and "traditional" sheds and stages.

In Character (Schedule A)

This section which is the most stringent applies to the most historically significant areas and buildings. It basically requires work to conform to traditional form and appearance. It does however identify acceptable practical variations.



Figure 21 - Christ Church is an example of a building being renovated "in character".



Figure 22 - This new Shed and Fence show that new structures can be "in character".

In Period (Schedule B)

This section describes work that must have the same basic character as traditional but has more leeway in terms of acceptable variations. The Plantation is an example of an *In Period* building.



Figure 23 - The plantation is an example of "in Period", not quite "traditional" but looking like it belongs. The sheds and stages are a mixture of 'Pre 1949' Vernacular with some newer "out of period" additions.

Balanced (Schedule C)

This section describes a mix of older traditional and contemporary components. Issues of scale and basic form are more important than close detail.



Figure 24 - This is an example of a house that is "Balanced" between Traditional and Contemporary

THE QUIDI VIDI VILLAGE OVERLAY ZONE (SEE APPENDIX B)

This overlay is a supplement to the Zoning Regulations. As shown on the following page, the Overlay Zone divides Quidi Vidi Village into 11 distinct areas, represented by letters “A” through “K”. The overlay zone identifies the maximum size for new or renovated developments, and the appropriate character for each property.

General Requirements for all renovations and new construction include:

- 1. In Scale
- 2. Appropriate size for building lot
- 3. Adherence to Character definitions and looks like it belongs
- 4. Adherence to View and Open Space overlays
- 5. Adherence to individual property overlays

The overlay does not take into account the existing condition of existing structures, or the site. All development must adhere to the various standards and regulations that may apply, including:

- The City of St. John’s
- Dept. of Environment and Conservation
- Department of Fisheries and Oceans

The overlay responds to presumed property boundaries, but may not in all cases. It does not in any way certify the location of boundaries or the actual property ownership.

It is recommended that Areas B through F should not be used for parking other than directly related to the primary occupancy and use. These areas are those that are immediately on the waterfront. As such, space should be reserved for potential development or public use. Wharf expansion can be permitted in several areas as shown in the varied schematics in the following area overlay descriptions. Wharfs must be staggered, designed to look “in period” and meet all regulatory requirements.

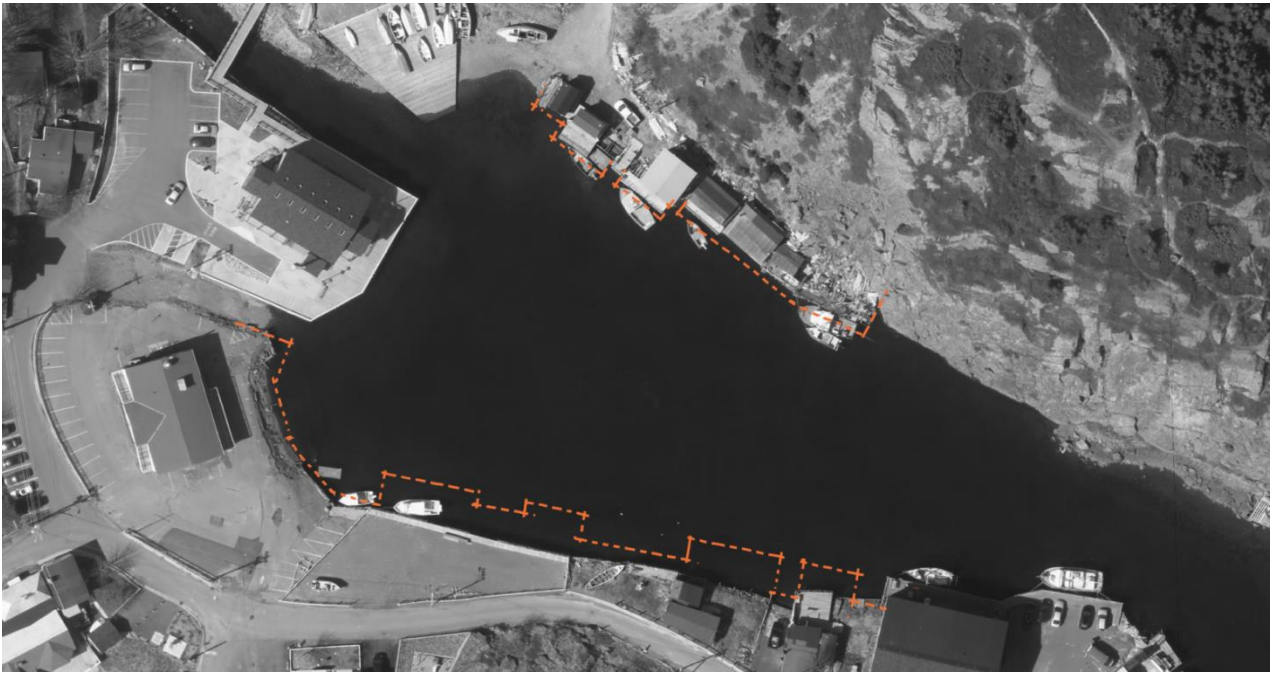


Figure 25 - Areas identified for wharf expansion, and where parking should not be a permitted use.

Additional Recommendation - Master Plan Development

Two areas on the harbour front, Area D between the Flake House and the Brewery, and part of Area F to the East of the new houses are suitable for development of new structures. These could be for uses that range from Industrial Harbour to tourism related. They could be short term visitor accommodation, but not permanent residential. As this area has great potential to shape the most scenic views in Quidi Vidi, any new construction in these areas should be subject to a Master Development Plan that encourages a coordinated, thoughtful development of the properties.



Figure 26 - This area has potential for new in period’ development similar to the Plantation, as identified in the Overlay Zone, Area D .

QUIDI VIDI VILLAGE PROPOSED OVERLAY ZONE AREAS “A” THROUGH “K”

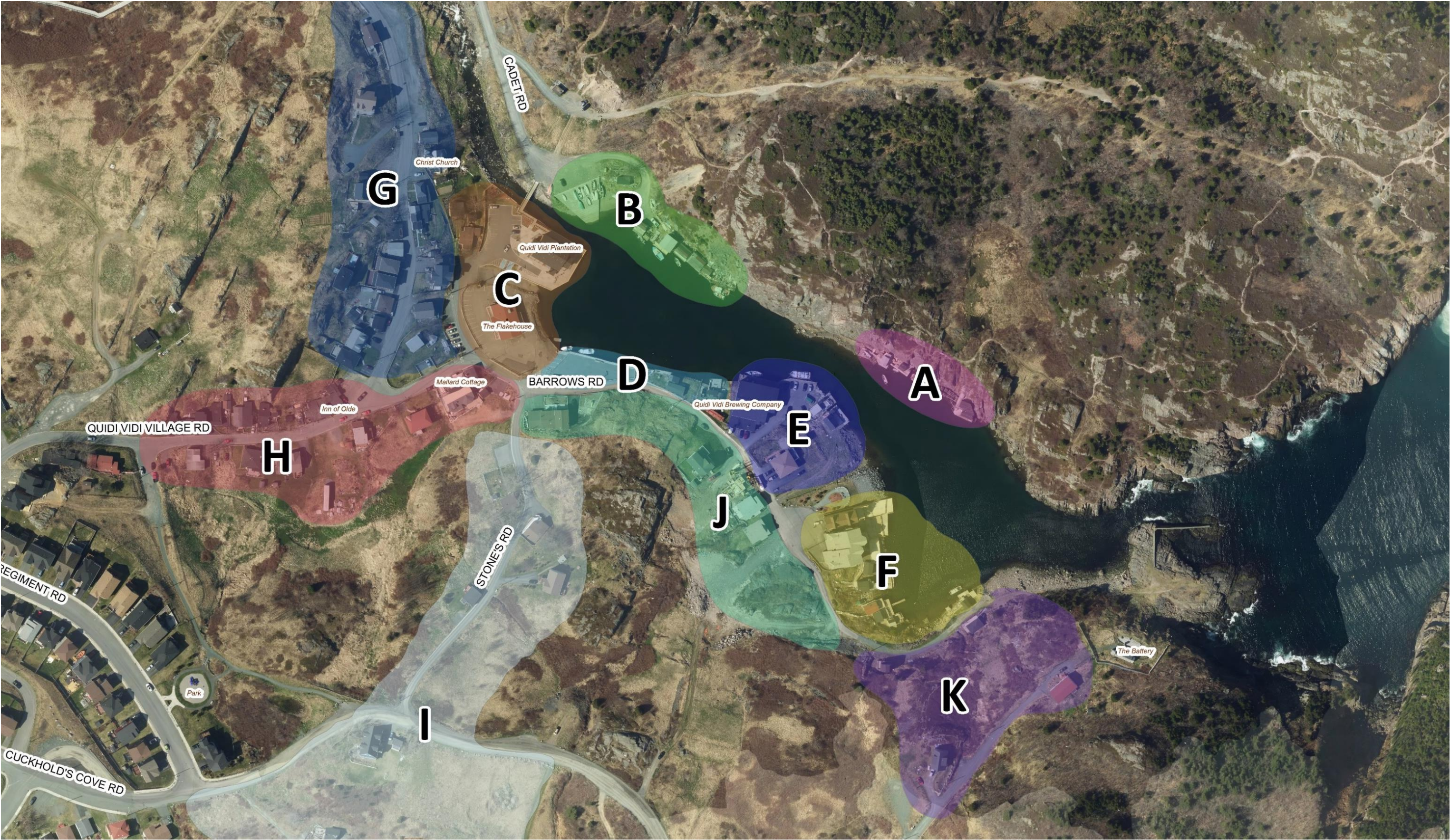
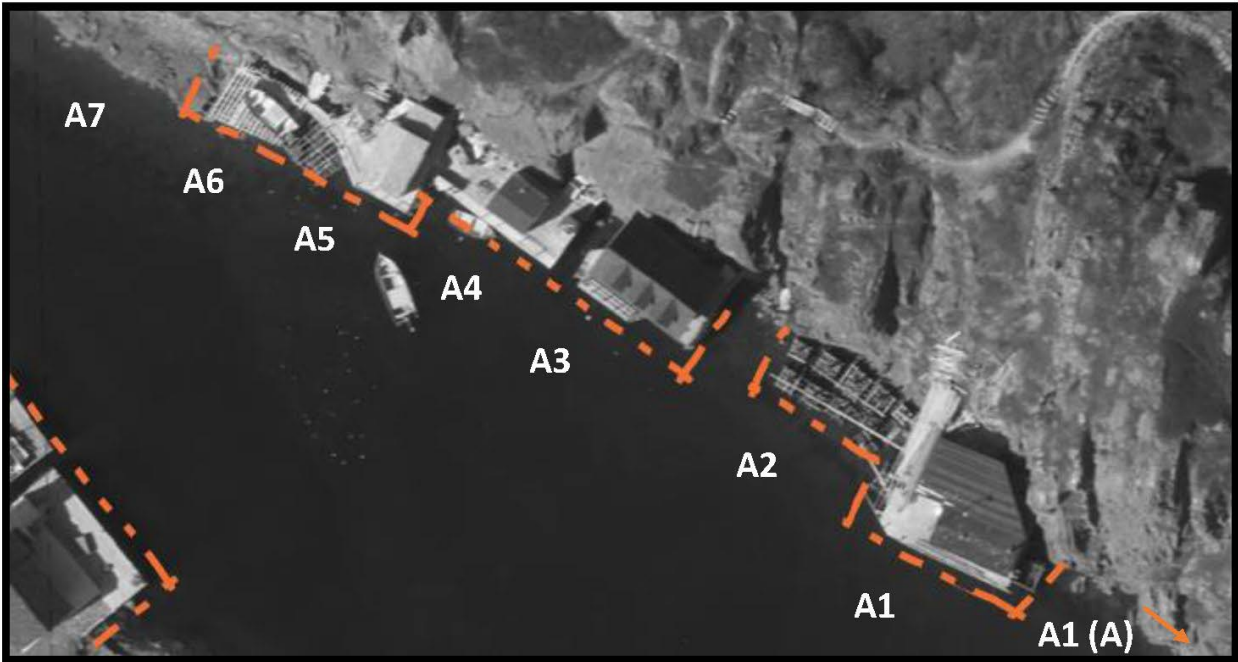
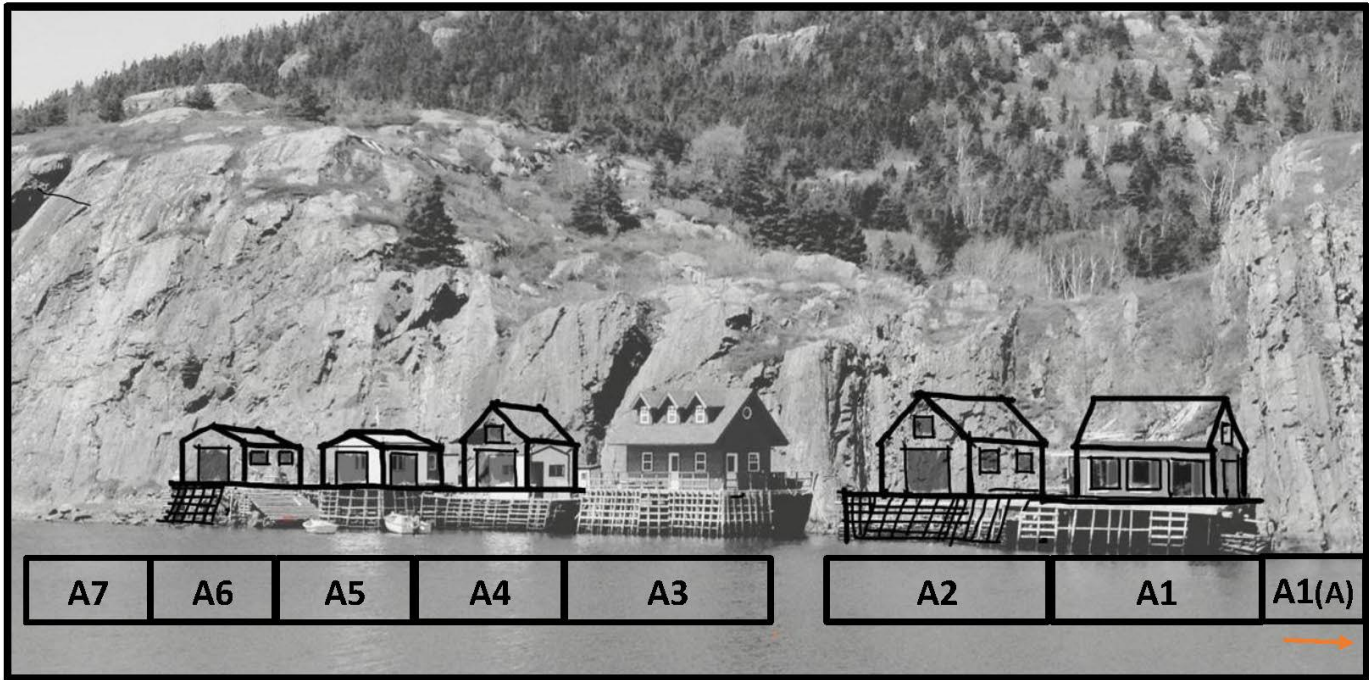


Figure 27 - The Quidi Vidi Village Proposed Overlay Zone Areas “A” through “K”.

QUIDI VIDI VILLAGE OVERLAY ZONE DESCRIPTION AND TABLE SAMPLE (SEE APPENDIX B FOR FULL OVERLAY)

AREA A

Below are the views of the Overlay Zone for area A, as well as the Area A Overlay Zone Table



Properties in Area A	Possible Development		Maximum Size			Character			Comments "A"
Zone: QVH	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
A1 (#83)	YES	YES	1 ½	NO	E	Sch. A	Sch. A	Sch. A	Windows are out of period
A1 (A)	YES	YES	1 ½		400SF	Sch. A	Sch. A	Sch. A	
A2	YES	Cribwork/wharf	1 ½		400SF	Sch. A	Sch. A	Sch. A	Vacant cribwork at present
A3		YES	1 ½	NO	E	Sch. B	Sch. B	Sch. A	Building is out of period because of the colours and large overhangs.
A4	YES	YES	1 ½	LHS	E+50%	Sch. A	Sch. A	Sch. A	
A5 (#65)	YES	YES	1	YES	E+25%	Sch. A	Sch. A	Sch. A	
A6	YES	Cribwork/wharf	1		400SF	Sch. A	Sch. A	Sch. A	Vacant crib at present
A7	NO								Vacant small area

AREA A

Area A consists of 7 water lots on the North East side of Quidi Vidi Harbour. There are four structures, two vacant cribs, and ad additional smaller vacant area (A7).

The structures are inconsistent in scale and style, with components of structures largely being out of period and unbalanced.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E – Existing

PART 4 – IMPLEMENTATION OF THE OVERLAY ZONE AND DESIGN GUIDELINES

It is proposed that the recommendations of the Quidi Vidi Village Overlay Zone Study be implemented by being incorporated into the St. John's Development Regulations as both a formal part of the Regulations and as Appendices in a manner similar to the process that was undertaken by the City several years ago for the Battery Development Area Guidelines.

Specifically, it is suggested that the properties in the historic core of the Village be rezoned to the proposed new Quidi Vidi Harbour (QVH) Zone, the Quidi Vidi Village (QVV) Zone and the Quidi Vidi Village Residential (QVR) Zone as shown on the proposed new zone designation plan which forms a part of this Study report. As part of this process, the text of the Development Regulations would be amended to introduce and incorporate the list of proposed Permitted Uses and Discretionary Uses and Zone Requirements for each of these three new zones as noted in this report. It is also recommended that the current references to the Industrial Quidi Vidi (IQ) Zone and the Residential Quidi Vidi (RQ) Zone be deleted from the Development Regulations.

It is suggested that a text reference be added in the Development Regulations to each of the three proposed new zones to advise that in addition to the Zone Requirements of each particular zone, that the development of any properties that are included in the Quidi Vidi Overlay Zone would be subject to the proposed new Quidi Vidi Village Design Guidelines and to a new section proposed to be added to Section 7 ("Special Developments") of the Development Regulations-please see the note below on the new section. It is recommended that both the Overlay Zone Map showing properties in the historic Village as being located in one of eleven (11) districts and the Design Guidelines, be incorporated as an appendices to the Development Regulations.

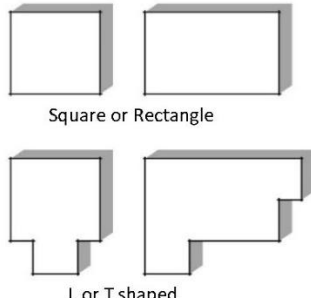
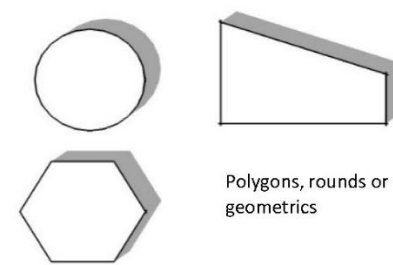
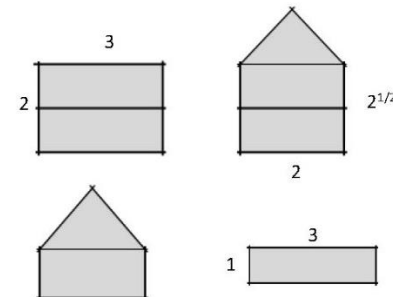
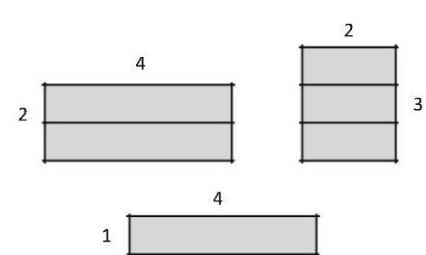
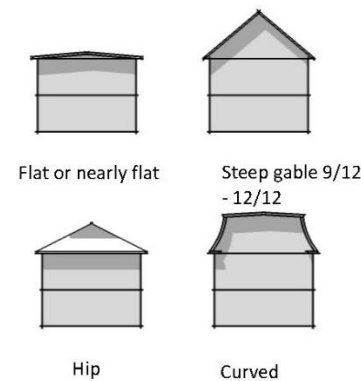

It is further recommended that there be a cross-reference added into each of the three proposed new zones to a new section proposed to be added to Section 7 ("Special Developments") of the Development Regulations. This new section would authorize that in addition to the Zone Requirements of Section 10 ("Zone Requirements") of the Development Regulations that the development of any property included in the Quidi Vidi Village Overlay Zone is also subject to Quidi Vidi Village Design Guidelines which as noted above, are proposed to be added as an appendix to the Regulations.

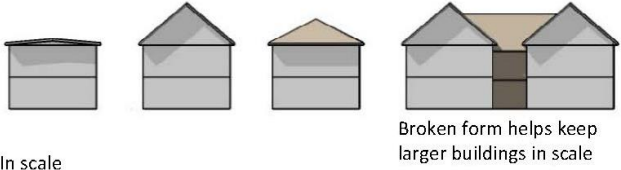
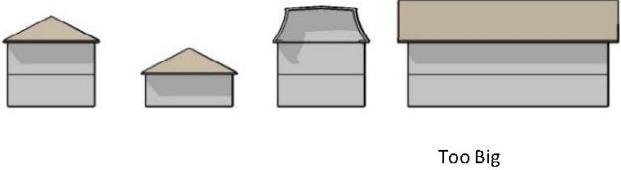
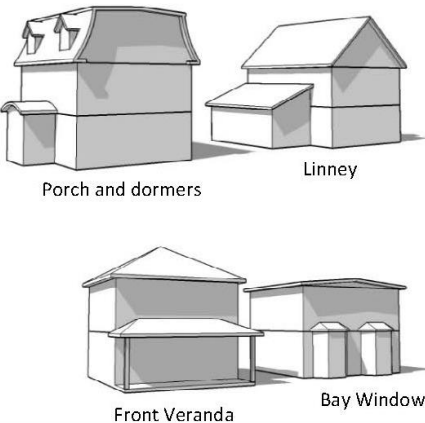
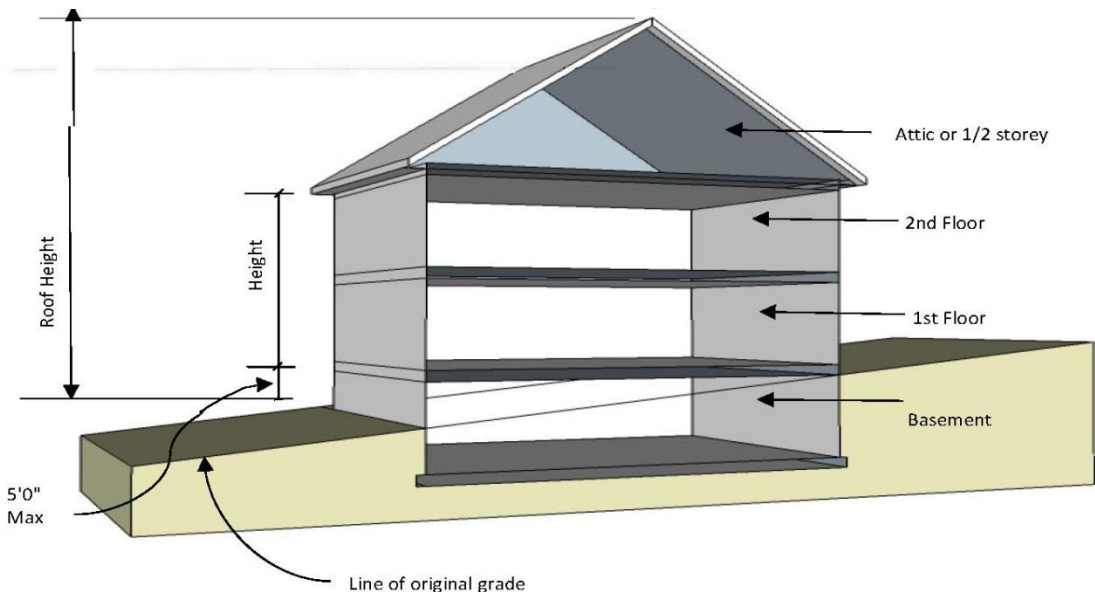
The proposed new section to be added to Section 7 would also authorize that where an application is made to the City to develop a property which is located within the Quidi Vidi Village Overlay Zone in which the proposed development exceeds the parameters of the Village Design Guidelines, that the St. John's Municipal Council would be authorized to approve the development, provided the applicant undertakes a Land Use Assessment Report on the proposed development at their expense, under terms of reference which would be approved by Council, and provided that property owners/residents in the Village as determined by Council or authorized City staff, are given an opportunity to review and comment on the Land Use Assessment Report before it is referred to Council for consideration of approval and, provided the Assessment Report demonstrates to Council's satisfaction that the proposed development is acceptable.

As part of the implementation of the recommendations of the Quidi Vidi Village Overlay Zone Study, City staff would determine if any map and/or text amendments are required to be made to the St. John's Municipal Plan to implement the recommendations of the Study and/or to accommodate the text and map amendments to the St. John's Development Regulations which are recommended above.

APPENDIX A

QUIDI VIDI DESIGN GUIDELINE TABLES

BUILDING FORM			ACCEPTABLE VARIATIONS FOR BUILDINGS		
Component	Recommended	Not Recommended	Schedule A	Schedule B	Schedule C
	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	Pre 1949 NL Domestic Vernacular Buildings	Most common and visible 'modern' elements	Similar to Traditional with some practical variations	Looks and feels like it belongs	Mix of contemporary and traditional
FOOTPRINT <i>The shape as seen in plan. Plans were sometimes irregular to suite the site</i>	 <p>Square or Rectangle</p> <p>L or T shaped</p>	 <p>Polygons, rounds or geometrics</p>	See Traditional	See Traditional	See Traditional
PROFILE/PROPORTION <i>Vertical shape ratio of height to width</i>			See Traditional	See Traditional	See Traditional
ROOF FORM <i>Key Component of Building Form</i>	 <p>Flat or nearly flat</p> <p>Steep gable 9/12 - 12/12</p> <p>Hip</p> <p>Curved</p>	 <p>4 1/2 Bungalow</p> <p>Uneven Slopes</p> <p>Straight Mansard</p> <p>Barn or Gambrel</p>	See Traditional	See Traditional	See Traditional and add 4/12 gable.
BUILDING SIZE <i>Footprint: Area of the ground floor</i> <i>Total Area: Combined area of all habitable floors; not including the basement or the attic.</i>	Footprints (Square Feet): - Houses: 400-600-1000 - Sheds/Stages: 100-600 - Mercantile: 1000-2000		See Overlay and Zoning	See Overlay and Zoning	See Overlay and Zoning

BUILDING FORM			ACCEPTABLE VARIATIONS FOR BUILDINGS		
Component	Recommended	Not Recommended	Schedule A	Schedule B	Schedule C
	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	Pre 1949 NL Domestic Vernacular Buildings	Most common and visible 'modern' elements	Similar to Traditional with some practical variations	Looks and feels like it belongs	Mix of contemporary and traditional
SCALE The size of a building in relationship to the neighbouring buildings and community.			See Traditional and Overlay	See Traditional and Overlay	See Traditional and Overlay
PROJECTIONS Areas under a roof including verandas, bay windows, porches, linneys.			See Traditional and add Balcony at Level 2	See Schedule A	See Schedule A
HEIGHT Height: Number of floors (storeys) or the actual height from 1st floor to eave line. 1st Floor: The lowest floor that is a maximum of 5'-0" above original grade. (back or front) Original Grade: The line of the natural ground not including recent cut and fill. 1/2 Storey/Attic: Habitable or non habitable space above the eave line. Roof Height: The height of top of the roof above line of grade			See Overlay and Zoning	See Overlay and Zoning	See Zoning

BUILDING APPEARANCE			ACCEPTABLE VARIATIONS FOR BUILDINGS		
Component	Recommended	Not Recommended	Schedule A	Schedule B	Schedule C
	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	<i>Pre 1949 NL Domestic Vernacular Buildings</i>	<i>Most common and visible 'modern' elements</i>	<i>Similar to Traditional with some practical variations</i>	<i>Looks and feels like it belongs</i>	<i>Mix of contemporary and traditional</i>
STYLE <i>Some buildings have definable styles, such as Mansard or Saltbox. Most do not.</i>	Simple Styles and Forms with few decorations especially on the waterfront	Adapted styles such as tudor or Victorian, and larger complex forms.			
EXTERIOR MATERIALS <i>Roof</i>	Single Ply Membrane Wood or asphalt shingles Slate	Anything else, especially: Fancy Styled Shingles Metal Roofing (except on sheds) Wood Shakes	See Traditional	See Traditional	See Traditional and add approved shingle styles
<i>Foundations</i>	Stacked Stone Wood Shores Vertical or Horizontal Board Cover Crip Work	Concrete Concrete Block	See Traditional and add painted preserved wood and concrete and concrete block.	See Schedule A	See Schedule A
<i>Walls</i>	4" Wood Clapboard 5 ½" – 7 ½" Trims including Top and Bottom 1 ½" Water Tables (drip mouldings)	Anything else, especially: Wide Siding Cove, V joint, channel Board and batten Vinyl or metal siding and trims	See Traditional	See Traditional and add approved vinyl siding with wide wood trims.	See Schedule B and add approved vinyl trims.



One of a number of Simple Styles, that would have had very little decoration and a simple form.

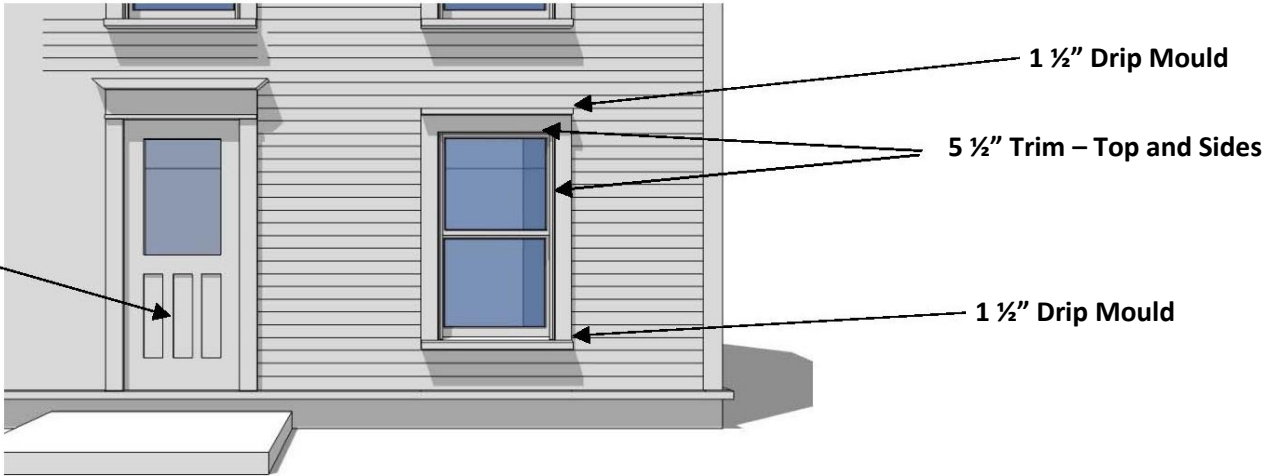


BUILDING APPEARANCE			ACCEPTABLE VARIATIONS FOR BUILDINGS		
Component	Recommended	Not Recommended	Schedule A	Schedule B	Schedule C
	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	<i>Pre 1949 NL Domestic Vernacular Buildings</i>	<i>Most common and visible 'modern' elements</i>	<i>Similar to Traditional with some practical variations</i>	<i>Looks and feels like it belongs</i>	<i>Mix of contemporary and traditional</i>
WINDOWS <i>Type and Style</i>	Double Hung Shop Windows Shed Windows	Anything else, especially: Horizontal Sliders Casements Geometrics	See Traditional	See Traditional and add larger windows, sliding doors	See Schedule B
<i>Groups/ Pattern</i>	Single or groups of 2 Usually symmetrical or balanced.		See Traditional	See Traditional and add corner windows	See Schedule B and add picture windows
<i>Trims</i>	5 ½" Top and Sides 1 ½" Water Tables (drip mouldings) Top and Bottom	Anything Else	See Traditional	See Traditional	See Schedule A and add approved wide vinyl trims
<i>Sash and Frame</i>	Wood	Anything Else	See Traditional and add metal and fiberglass.	See Schedule A	See Schedule A and add vinyl
DOORS <i>Type/Style and Pattern</i>	Wood Panel Slightly more elaborate trims May be glazed May have side lights	Slab doors Shaped windows	See Traditional and add metal doors	See Schedule A	See Schedule A

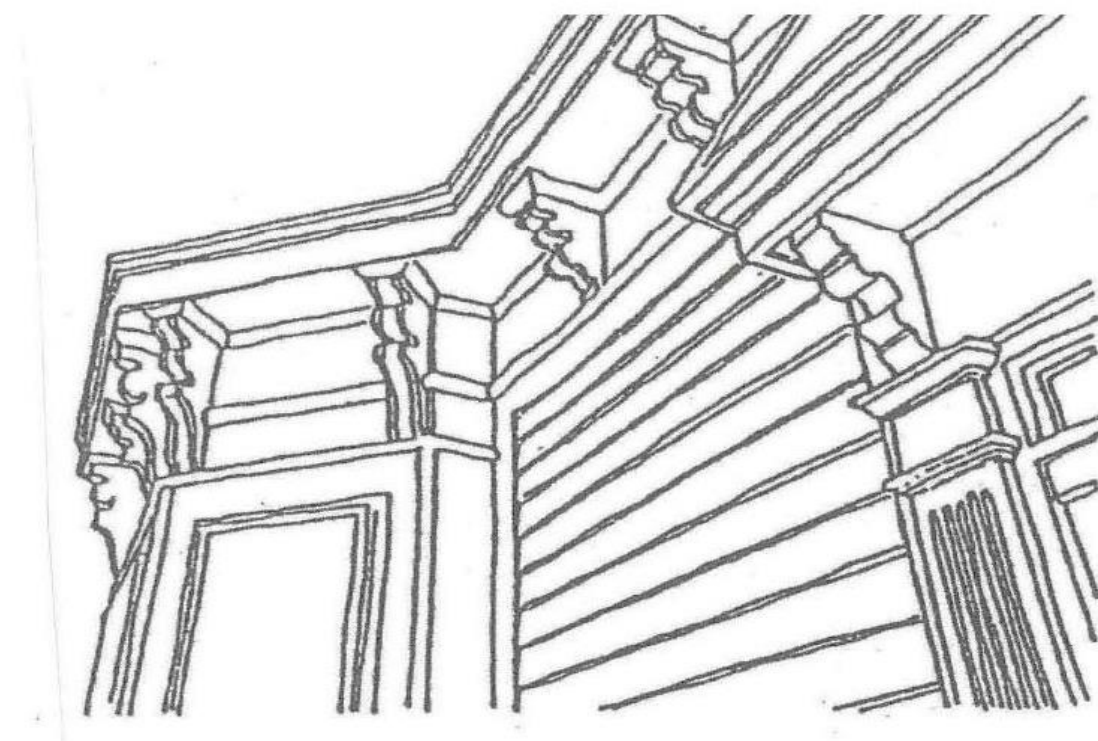


Windows were usually single or 2 side by side, symmetrical and 'balanced' visually.

Pannel door
Trims slightly more elaborate than windows.



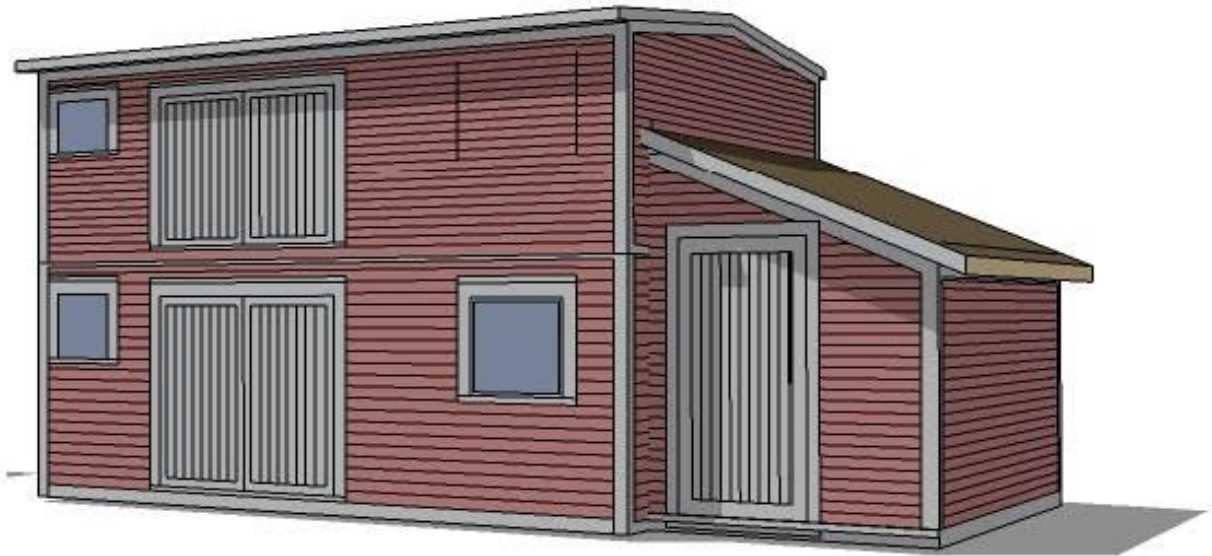
BUILDING APPEARANCE			ACCEPTABLE VARIATIONS FOR BUILDINGS		
Component	Recommended	Not Recommended	Schedule A	Schedule B	Schedule C
	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	<i>Pre 1949 NL Domestic Vernacular Buildings</i>	<i>Most common and visible 'modern' elements</i>	<i>Similar to Traditional with some practical variations</i>	<i>Looks and feels like it belongs</i>	<i>Mix of contemporary and traditional</i>
DECORATIONS AND DETAIL	Varied from basic trims to elaborate. Waterfront buildings were most simple.	Unfinished	See Traditional	See Traditional	See Traditional
STEPS AND RAILINGS	1 ½" x 5 ½" Top 1 ½" x 1 ½" Pickets	Pressure treated wood.	See Traditional and add Glass Rails	See Schedule A	See Schedule A
COLOUR <i>Originally almost all houses were white, and outbuildings red ochre. In recent years more colours have become popular.</i>	Houses white Sheds/stages, Red Ochre or unpainted	Pale "Vinyl Siding" colours Garish colours	See Traditional and encourage heritage colours	See Schedule A	See Schedule A
MISCELLANEOUS <i>External Lighting</i>	None	Like loud music, exterior lighting should be discouraged	See Traditional and add subdued lighting	See Schedule A	See Schedule A
<i>Chimneys</i>	Internal		See Traditional and add external Metal Chimneys.	See Schedule A	See Schedule A and add exterior Brick chimneys



Elaborate detailing was usually limited to larger houses.



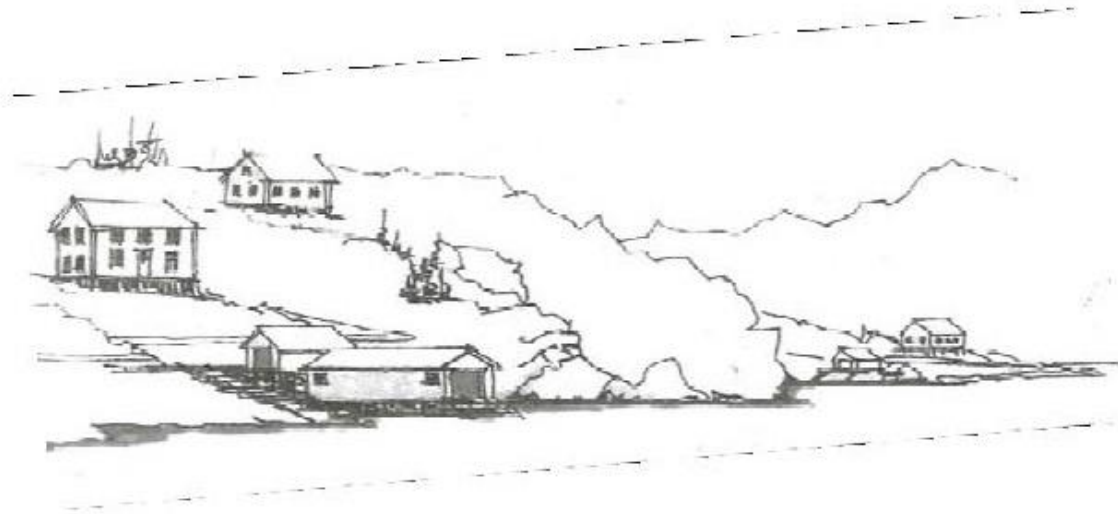
SITE DEVELOPMENT			ACCEPTABLE VARIATIONS FOR BUILDINGS		
COMPONENT	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	Schedule A	Not Recommended	Schedule A	Schedule B	Schedule C
	<i>Pre 1949 NL Domestic Vernacular Buildings</i>	<i>Most common and visible 'modern' elements</i>	<i>Similar to Traditional with some practical variations</i>	<i>Looks and feels like it belongs</i>	<i>Mix of contemporary and traditional</i>
GROUPINGS <i>Key Feature of NL Architecture</i>	Individual properties usually had several structures Arranged in irregular pattern		See Schedule A	See Schedule A	See Schedule A
Sheds, Out Buildings	Smaller and simpler than houses with an irregular type and pattern of doors and windows, and irregular building shapes Usually same exterior materials as houses.	Baby Barns Gambrel Roofs	See Traditional	See Traditional	See Traditional
Stages <i>Key component of Quidi Vidi Character</i>	Similar to sheds Built on shores or Cribworks Surrounded by bridge decks, wharfs or flakes.		See Traditional	See Traditional	



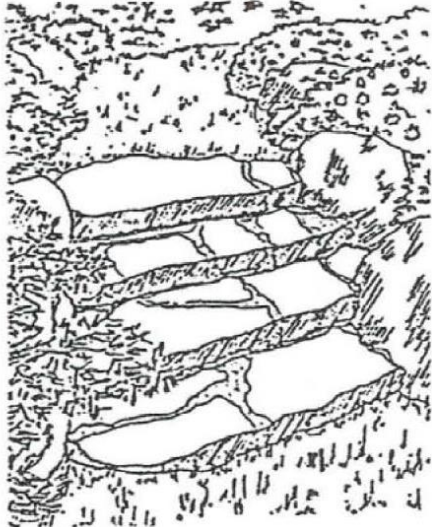
Sheds and barns come in all shapes and sizes and be used as basic forms for "Period" buildings.



SITE DEVELOPMENT			ACCEPTABLE VARIATIONS FOR BUILDINGS		
COMPONENT	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	Schedule A	Not Recommended	Schedule A	Schedule B	Schedule C
	<i>Pre 1949 NL Domestic Vernacular Buildings</i>	<i>Most common and visible 'modern' elements</i>	<i>Similar to Traditional with some practical variations</i>	<i>Looks and feels like it belongs</i>	<i>Mix of contemporary and traditional</i>
CHANGES TO GRADE <i>Cut and fill, retaining, and other.</i>	Limited Cut and Fill Stone or wood crib walls	Excessive Cut or Fill Sloped Banks	See Traditional and add approved stacked masonry	See Schedule A	See Schedule A
SET BACKS	Determined by available space Usually close to road or water Irregular	Regular setbacks and spacings Hours in line	See Traditional and add Overlay	See Traditional and add Overlay	See Zoning
BRIDGES/DECKS/STEPS AND RAILS	Wood Simple details		See Traditional and add railings as per code and glass rails	See Schedule A	See Schedule A



SITE DEVELOPMENT			ACCEPTABLE VARIATIONS FOR BUILDINGS		
COMPONENT	TRADITIONAL	NON TRADITIONAL	IN CHARACTER	IN PERIOD	BALANCED
	Schedule A	Not Recommended	Schedule A	Schedule B	Schedule C
	<i>Pre 1949 NL Domestic Vernacular Buildings</i>	<i>Most common and visible 'modern' elements</i>	<i>Similar to Traditional with some practical variations</i>	<i>Looks and feels like it belongs</i>	<i>Mix of contemporary and traditional</i>
LANDSCAPE					
Ground Cover	Natural	Mowed Lawns	See Traditional	See Traditional and add mowed lawns	See Schedule B
Gardens <i>A well tended garden, with trees, flowers, lawns and fences are part of the image of a building. For very plain houses, the landscaping is particularly important.</i>	Fenced Kitchen Gardens		See Traditional	See Traditional	See Traditional
Trees/Shrubs	Fruits / Berries Some Decorative	Shaped trees and bushes	See Traditional	See Traditional	See Traditional and add more formal gardens
Flower Gardens	Limited	Formal Gardens	See Traditional	See Traditional	See Traditional and add more formal gardens
Paths	Flat Rocks Wood Bridge Gravel		See Traditional and add conc. Pavers		
Fences	Picked Posts and Rail Simple Pairing	Chain link Fancy Styles Pressure Treated Wood	See Traditional	See Traditional	See Traditional
Retaining Walls	Dry Stacked Stone Wood Crib	Add: Gabion Walls Stacked Masonry Finished Pressure Treated Wood	See Traditional	See Traditional	See Traditional

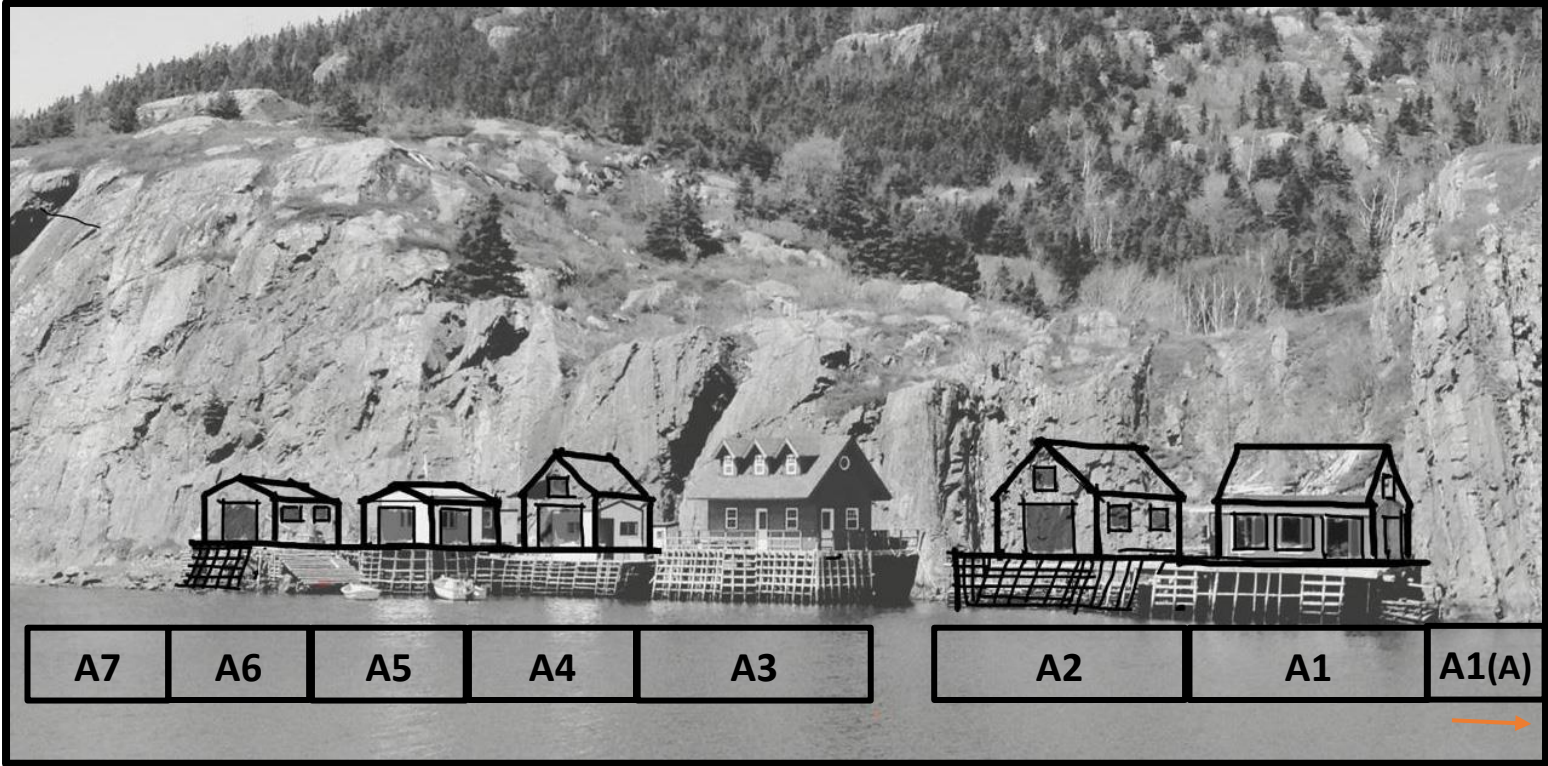


APPENDIX B

QUIDI VIDI VILLAGE OVERLAY ZONE DESCRIPTIONS

AREA A

Below are the views of the Overlay Zone for area A, as well as the Area A Overlay Zone Table



Properties in Area A	Possible Development		Maximum Size			Character			Comments "A"
	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
A1 (#83)	YES	YES	1 ½	NO	E	Sch. A	Sch. A	Sch. A	Windows are out of period
A1 (A)	YES	YES	1 ½		400SF	Sch. A	Sch. A	Sch. A	
A2	YES	Cribwork/wharf	1 ½		400SF	Sch. A	Sch. A	Sch. A	Vacant cribwork at present
A3		YES	1 ½	NO	E	Sch. B	Sch. B	Sch. A	Building is out of period because of the colours and large overhangs.
A4	YES	YES	1 ½	LHS	E+50%	Sch. A	Sch. A	Sch. A	
A5 (#65)	YES	YES	1	YES	E+25%	Sch. A	Sch. A	Sch. A	
A6	YES	Cribwork/wharf	1		400SF	Sch. A	Sch. A	Sch. A	Vacant crib at present
A7	NO								Vacant small area

AREA A

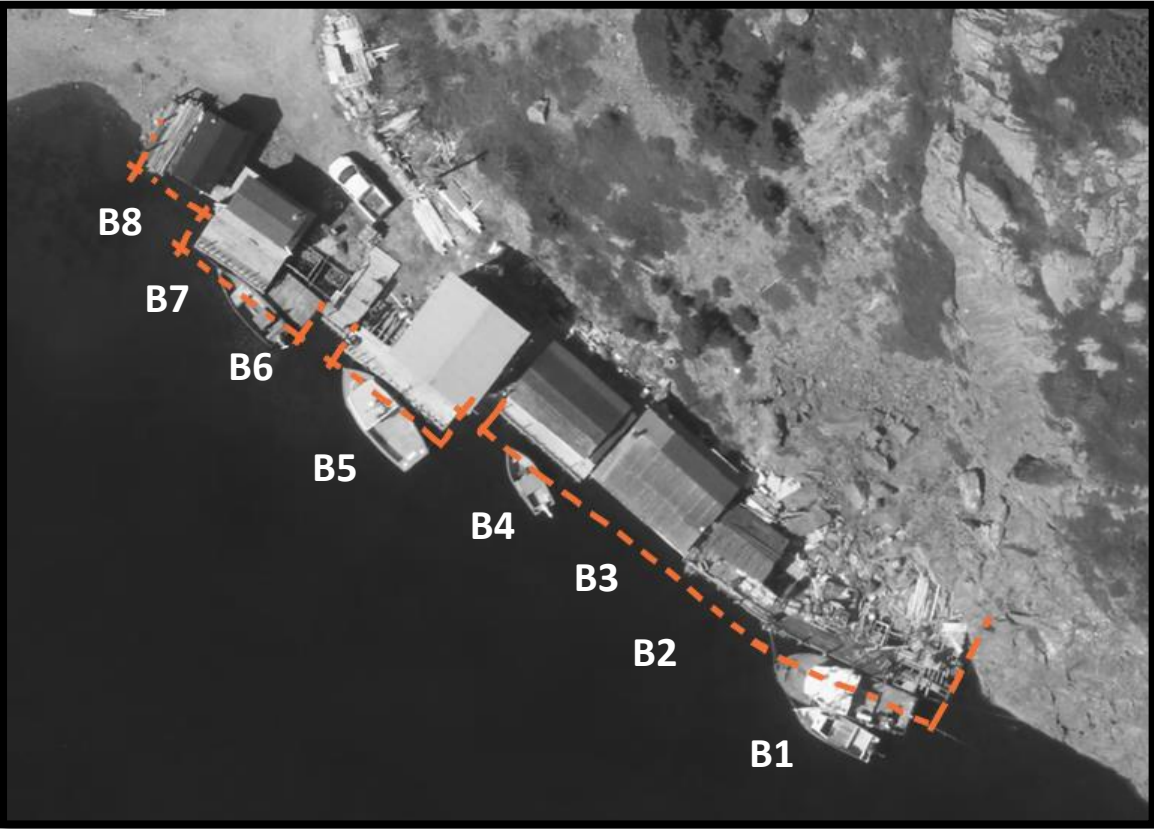
Area A consists of 7 water lots on the North East side of Quidi Vidi Harbour. There are four structures, two vacant cribs, and ad additional smaller vacant area (A7).

The structures are inconsistent in scale and style, with components of structures largely being out of period and unbalanced.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA B

Below are the views for Area B, as well as the Area B Overlay Zone Table.



Properties in Area B	Possible Development		Maximum Size			Character			Comments "B"
	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
B1	NO	Cribwork/ Wharf							Rockfall Area
B2 (#27)	YES	YES	1	NO	E	Sch. A	Sch. A	Sch. A	Rockfall Area
B3 (#25)	YES	YES	1	NO	E	Sch. A	Sch. A	Sch. A	
B4 (#23)	YES	YES	1 ½	NO	E	Sch. A	Sch. A	Sch. A	
B5	NO	YES	2	NO	E	Sch. A	Sch. A	Sch. A	Windows are out of period
B6	YES	Cribwork/ Wharf	1 ½		400SF				Open Space/Cribwork
B7	YES	YES	1 ½	YES	E+50%	Sch. A	Sch. A	Sch. A	
B8	YES	YES	1 ½	YES	400SF	Sch. A	Sch. A	Sch. A	

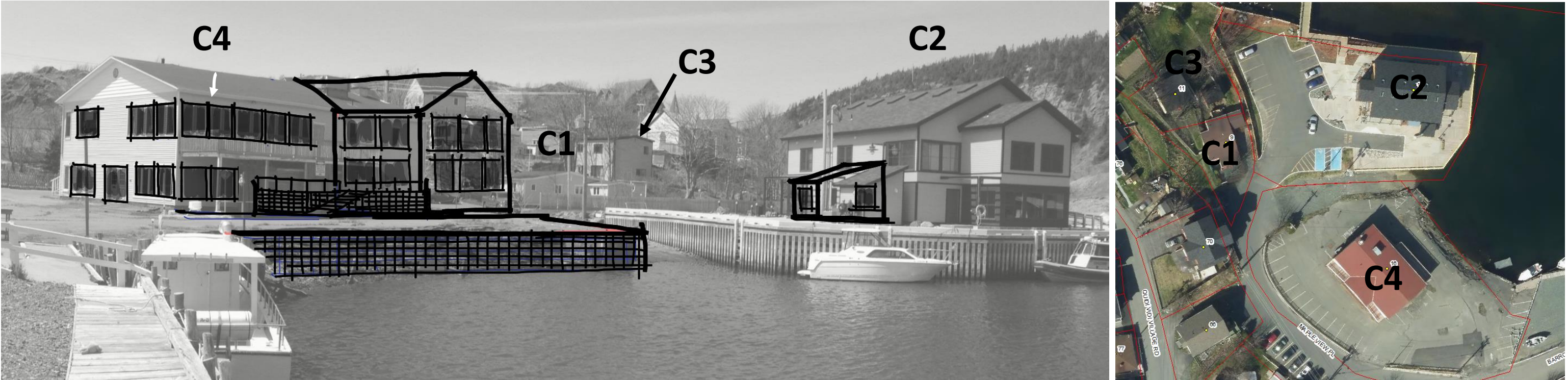
AREA B

Area B consists of 8 water lots on the North West side of Quidi Vidi Harbour. There are six structures, an open lot, and a Rockfall area (B1).

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA C

Below are the views for Area C, as well as the Area C Overlay Zone Table.



Properties in Area C	Possible Development		Maximum Size			Character			Comments "C"
	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
C1 (#9)	NO	YES	1 ½	NO	E	Sch. B	Sch. B	Sch. B	
C2 (#10) (Plantation)		YES	2	YES (1 Storey)	E+300 SF	Sch. B	Sch. B	Sch. B	New shed or lean to addition for Kitchen.
C3 (#11)		YES	2	FRONT (EAST)	E+25%	Sch. B	Sch. B	Sch. B	
C4 (#10) (Flakehouse)	YES	YES	2	YES (BACK EAST)	E+25%	Sch. B	Sch. B	Sch. B	New addition, rebuild, or renovation must adhere to schedule B, new windows and siding

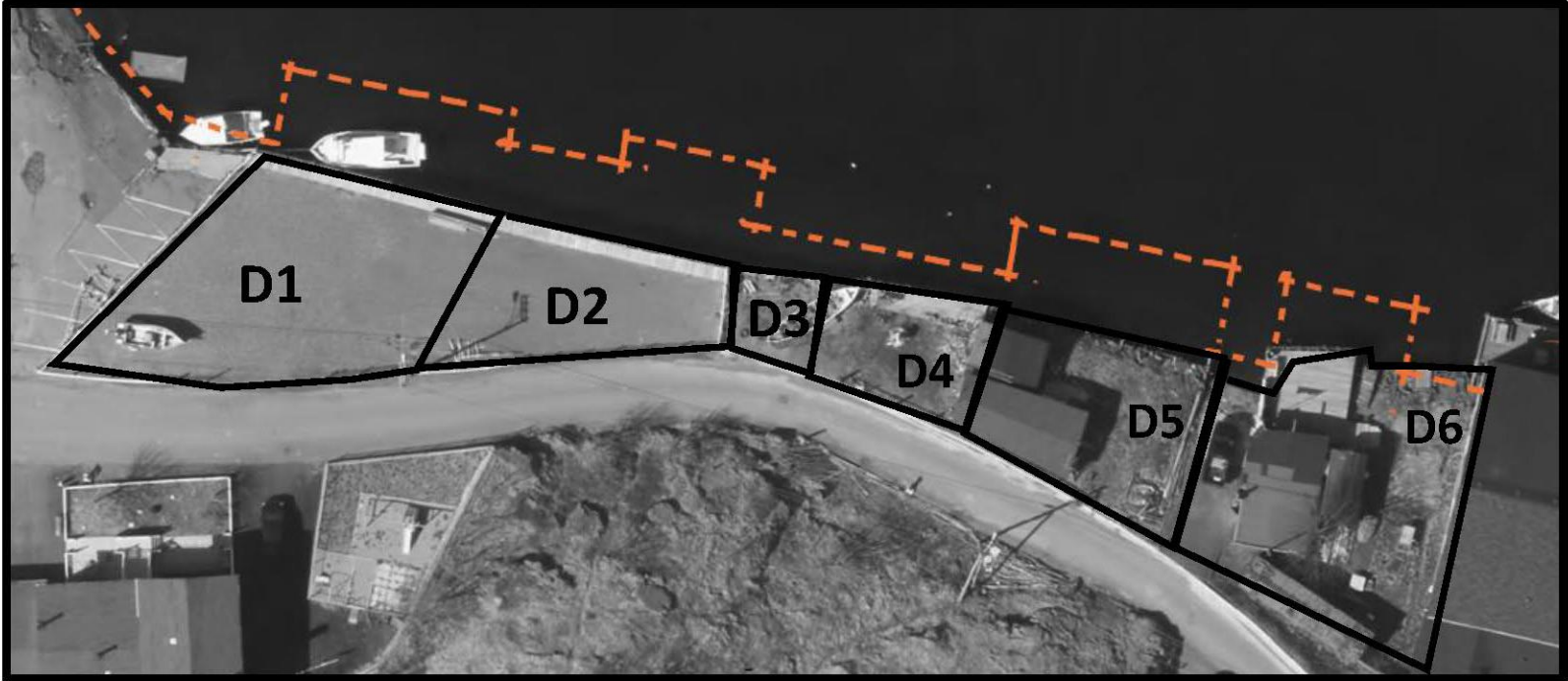
AREA C

Area C consists of the Plantation, the Flakehouse, and the immediately adjacent structures.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA D

Below are the views for Area D, as well as the Area D Overlay Zone Table.



Properties in Area D	Possible Development		Maximum Size			Character			Comments "D"
	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
D1	YES		1 ½		2x600SF	Sch. B	Sch. B	Sch. B	New subject to Master Plan
D2	YES		1 ½		2x600SF	Sch. B	Sch. B	Sch. B	New subject to Master Plan
D3 (#21)	NO	NO							Possible Public Space
D4 (#27)	YES		2		1x600SF	Sch. B	Sch. B	Sch. B	New subject to Master Plan
D5 (#27)	YES	YES	1 ½ - 2	YES	2x600SF	Sch. B	Sch. B	Sch. B	New subject to Master Plan
D6 (#31)	YES	YES	1 ½- 2	YES	2x600SF	Sch. B	Sch. B	Sch. B	New subject to Master Plan

AREA D

Area D consists of the South Western side of the Harbour. Currently there is a large parking lot and two fishing stages in the area.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E – Existing

AREA E



AREA E

Area E Consists of the Quidi Vidi Brewery and the adjacent lots to the east.

Properties in Area E	Possible Development		Maximum Size			Character			Comments "E"
Zone: QVH	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
E1 (#15)		YES	2	NO	E	Sch.B	Sch. B	Sch.B	
E2 (#53)	YES	YES	1	YES	600SF	Sch.B	Sch. B	Sch.B	
E3 (#55)		YES	E	NO	E	Sch.B	Sch.B	Sch.B	
E3 A	YES		1 ½		400SF	Sch.B	Sch.B	Sch.B	
E3 B	YES		1 ½		900SF	Sch.B			Should be developed in conjunction with E3 A
E4		YES	2	BACK(North)	25%	Sch.B	Sch.B	Sch.B	

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA F



Properties in Area F	Possible Development		Maximum Size			Character			
Zone: QVH	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance F8	Site	
F1 (#47)		YES	E	NO	E	Sch. B	Sch. B	Sch. B	F1 – F3 are existing new structures. Encourage renovations of exterior to conform to Schedule B
F2 (#44)		YES	E	NO	E	Sch. B	Sch. B	Sch. B	
F3 (#51)		YES	E	NO	E	Sch. B	Sch. B	Sch. B	
F4 (#57)	YES	YES	2	YES	800SF	Sch. B	Sch. B	Sch. B	
F5 (#59)	YES	YES	E	YES	800SF	Sch. B	Sch. B	Sch. B	
F6 (#61)	YES	YES	2	YES	600SF	Sch. B	Sch. B	Sch. B	
F7 (#77)	YES	YES	2	YES	600SF	Sch. B	Sch. B	Sch. B	
F8	YES		1 ½		600SF	Sch. B	Sch. B	Sch. B	Comprehensive Plan Required for development of F8 and F9
F9	YES		1 ½		600SF	Sch. B	Sch. B	Sch. B	
F10 (#12)	YES	YES	1 ½	YES					Preferably included in Comprehensive Plan for F8 and F9

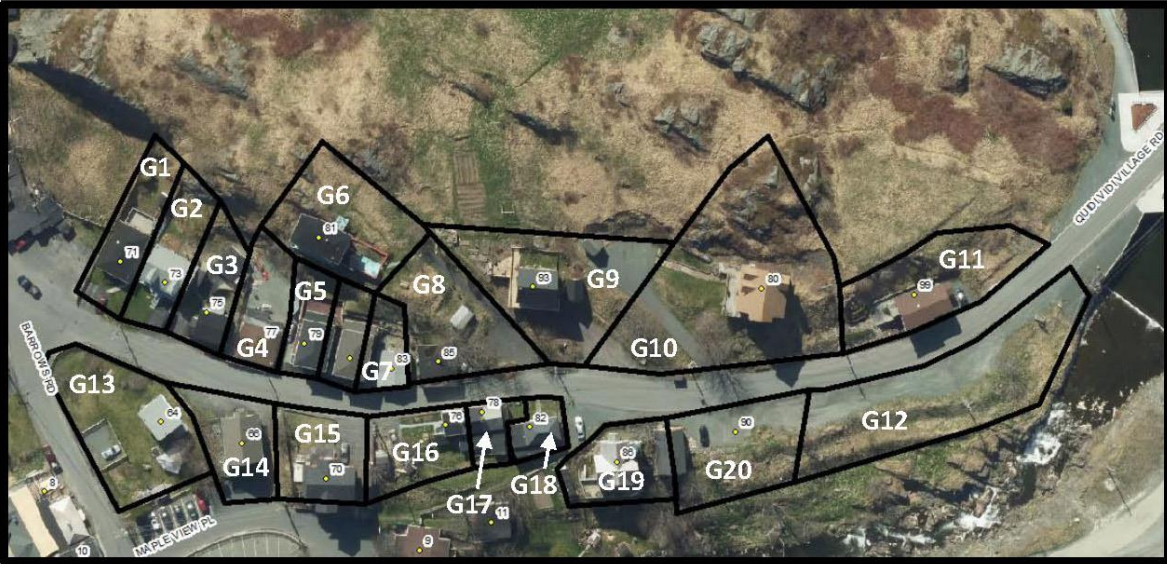
AREA F

Area F has several large new structures, and several small fishing stages on the water.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E – Existing

AREA G

Properties in Area G	Possible Development		Maximum Size			Character			Comments "G"
	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
Zone: QVV									
G1 (#71)		YES	2 ST	BACK	+25%	Sch. B	Sch. B	Sch. B	
G2 (#73)		YES	2 ST	BACK	+25%	Sch. B	Sch. B	Sch. B	
G3 (#75)	YES	YES	2 ST	NO	+25%	Sch. B	Sch. B	Sch. B	Increase set back for new
G4 (#77)	YES	YES	2 ST	BACK	E	Sch. B	Sch. B	Sch. B	Increase set back for new
G5 (#79)		YES	2 ST	NO	E	Sch. B	Sch. B	Sch. B	
G6 (#81)		YES	2 ST		E	Sch. B	Sch. B	Sch. B	
G7 (#83)	YES	YES	2 ST	NO	E	Sch. B	Sch. B	Sch. B	Set back for new
G8 (#85)	YES	YES	2 ST	NO	E	Sch. B	Sch. B	Sch. B	Set back for new
G9 (#93)		YES	2 ST	YES	+25%	Sch. B	Sch. B	Sch. B	
G10 (#95)		YES	2 ST	YES	+25%	Sch. B	Sch. B	Sch. B	
G11 (#99)		YES	2 ST	BACK	+25%	Sch. B	Sch. B	Sch. B	
G12									Vacant
G13 (#64)	YES	YES	2 ST	YES		Sch. B	Sch. B	Sch. B	New addition or new house in addition to existing
G14 (#66)		YES	2 ST	NO	E	Sch. B	Sch. B	Sch. B	
G15 (#70)		YES	2 ST	BACK	+25%	Sch. B	Sch. B	Sch. B	
G16 (#76)		YES	E	NO		Sch. A	Sch. A	Sch. A	Set back for new
G17 (#78)		YES	E	NO		Sch. A	Sch. A	Sch. A	Set back for new
G18 (#82)		YES	E	NO		Sch. A	Sch. A	Sch. A	Set back for new
G19 (#86)		YES	E	NO	E	Sch. A	Sch. A	Sch. A	Christ Church and Shed
G20 (#90)	No								Vacant, Parking Area



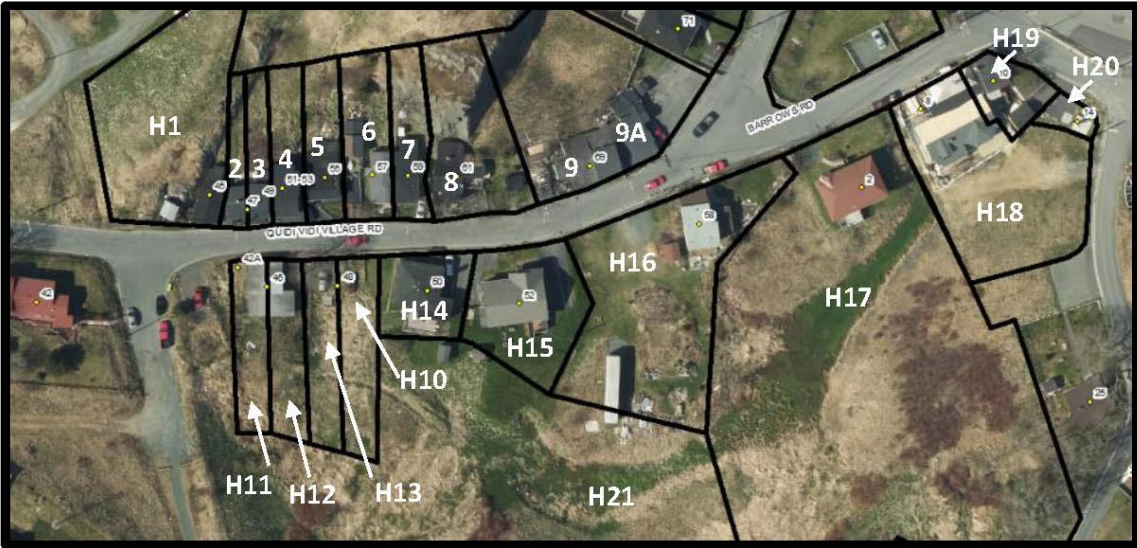
AREA G

Area G is the residential area in the heart of the Village along Quidi Vidi Village Road.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA H

Properties in Area H	Possible Development		Maximum Size			Character			Comments "H"
Zone: QVV	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
H1 (#45)	YES	YES	2	BACK	+25%	Sch. B	Sch. B	Sch. B	
H2 (#47)	YES	YES	2	BACK	+25%	Sch. B	Sch. B	Sch. B	
H3 (#49)	YES	YES	2	BACK	+25%	Sch. B	Sch. B	Sch. B	
H4 (#51-53)		YES	2	NO	E	Sch. B	Sch. B	Sch. B	
H5 (#55)	YES	YES	2	NO	E	Sch. B	Sch. B	Sch. B	
H6 (#57)	YES	YES	2	NO	E	Sch. B	Sch. B	Sch. B	
H7 (#59)	YES	YES	2	NO	E	Sch. B	Sch. B	Sch. B	
H8 (#61)	YES	YES	2	NO	E	Sch. B	Sch. B	Sch. B	
H8A (#61)									
H9 (#69)	NO	YES	1	NO	E	Sch. B	Sch. B	Sch. B	
H9A (#69)	YES	YES	2	NO	E	Sch. B	Sch. B	Sch. B	
H10									
H11 (#42A)									
H12 (#46)									
H13 (#48)									
H14 (#50)	NO	YES	2	BACK	+25%	Sch. B	Sch. B	Sch. B	
H15 (#52)	NO	YES	1 ½	BACK	+25%	Sch. B	Sch. B	Sch. B	
H16 (#58)	NO	YES	2	BACK	+25%	Sch. B	Sch. B	Sch. B	
H16 (#A)	YES		2		900 SF				
H16 (#B)	YES		2		900 SF				
H17 (#2)		YES	1 ½	BACK	+25%	Sch. B	Sch. B	Sch. B	
H18 (#8)									
H19 (#10)									
H20 (#14)									
H21	NO	NO							



AREA H

Area H is the residential area along Quidi Vidi Village Road and Barrows Road.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA I

Properties in Area I	Possible Development		Maximum Size			Character			Comments "I"
Zone: QVR	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
1 (#26)	YES		2		900SF	Sch. B	Sch. C	Sch. C	
2 (#25)		YES	2	BACK	+25%	Sch. B	Sch. C	Sch. C	
3 (#20)		YES	2	BACK	+25%	Sch. B	Sch. C	Sch. C	
4	YES		2		900SF	Sch. B	Sch. C	Sch. C	
5 (#18)		YES	2	BACK	+25%	Sch. B	Sch. C	Sch. C	
6 (#15)		YES	2	BACK	+25%	Sch. B	Sch. C	Sch. C	
7A (#75-85)	NO								WETLAND
7B (#75-85)	YES		2		900SF	Sch. B	Sch. C	Sch. C	
7C (#75-85)	YES		2		900SF	Sch. B	Sch. C	Sch. C	
7D (#75-85)	YES		2		900SF	Sch. B	Sch. C	Sch. C	
8A	YES		2		900SF	Sch. B	Sch. C	Sch. C	
8B	YES		2		900SF	Sch. B	Sch. C	Sch. C	
8C	YES		2		900SF	Sch. B	Sch. C	Sch. C	
9A (#62)	YES		2		900SF	Sch. B	Sch. C	Sch. C	
9B	YES		2		900SF	Sch. B	Sch. C	Sch. C	
9C	YES		2		900SF	Sch. B	Sch. C	Sch. C	
10 (#62)	YES	YES	1 ½	YES	+25%	Sch. B	Sch. C	Sch. C	
11 (#64)		YES	2	YES	+25%	Sch. B	Sch. C	Sch. C	
12A (#72)		YES	2		900SF	Sch. B	Sch. C	Sch. C	
12B (#72)		YES	2		900SF	Sch. B	Sch. C	Sch. C	
12C (#72)		YES	2		900SF	Sch. B	Sch. C	Sch. C	

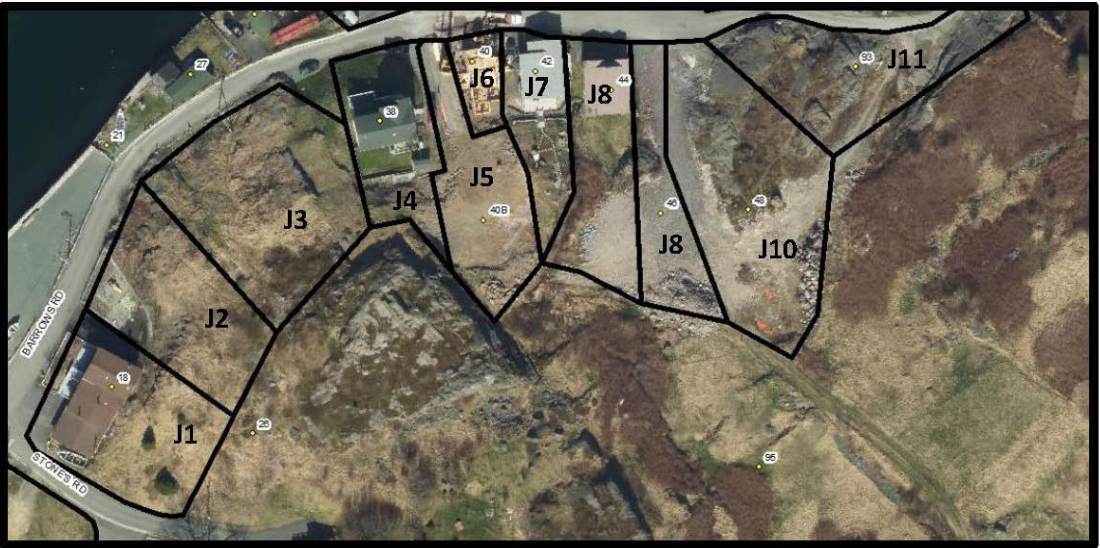


AREA I

Area I is largely undeveloped land along Stone’s Road and Cuckhold’s Cove Road. There are a few structures varied in character

- Key
- LHS – Left Hand Side
 - RHS – Right Hand Side
 - E - Existing

AREA J



Properties in Area J		Possible Development		Maximum Size			Character			Comments "J"
		New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
Zone: QVV										
J1	18		YES	2	BACK	+25%	Sch. B	Sch. B	Sch. B	These are all new houses. Their character is not quite appropriate for their location.
J2	18	YES		2		900 SF	Sch. B	Sch. B	Sch. B	
J3		YES		2		900 SF	Sch. B	Sch. B	Sch. B	
J4	38		YES				Sch. B	Sch. B	Sch. B	
J5	40b		YES				Sch. B	Sch. B	Sch. B	
J6	40		YES				Sch. B	Sch. B	Sch. B	
J7	42		YES				Sch. B	Sch. B	Sch. B	
J8	44		YES				Sch. B	Sch. B	Sch. B	
J9	46		YES				Sch. B	Sch. B	Sch. B	
J10	48		YES				Sch. B	Sch. B	Sch. B	
J11	52	YES		2		900	Sch. B	Sch. B	Sch. B	To be permitted only if the valley access it blocked by number 10.

AREA J

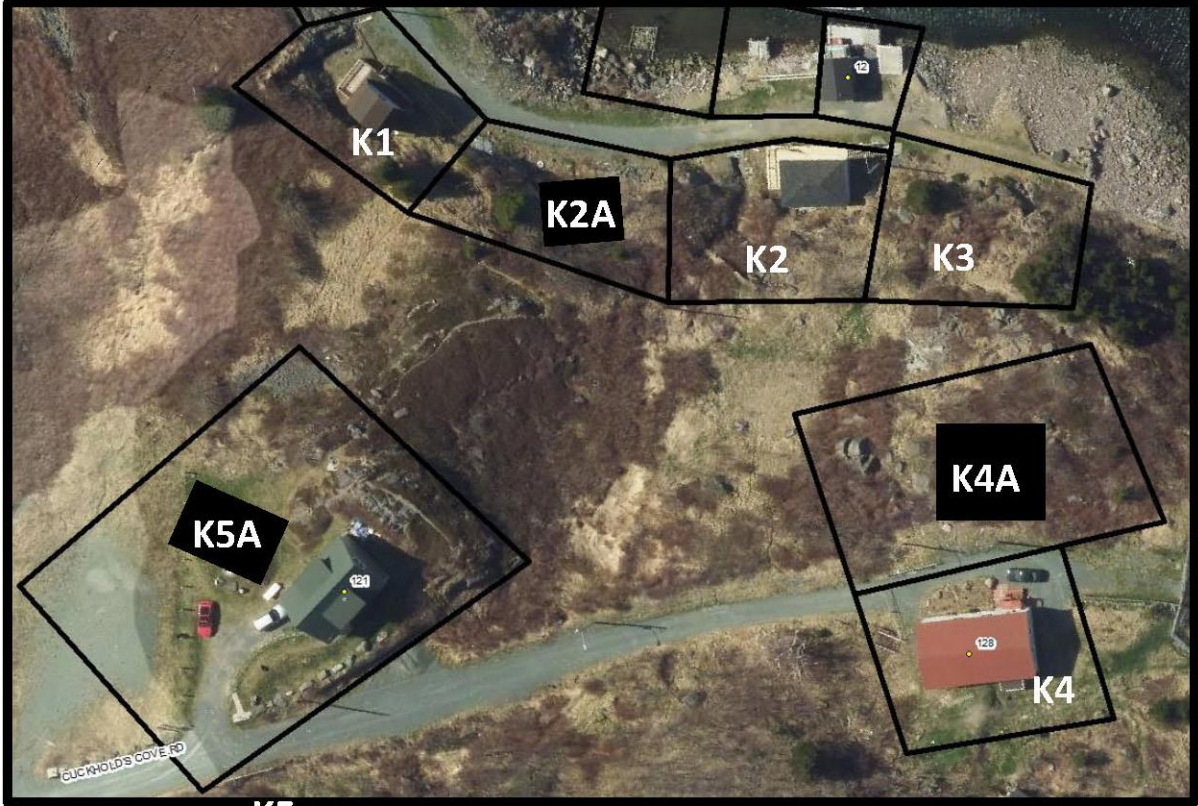
Area J is characterised by a large amount of new significant residential development, its proximity to the waterfront, on Barrows Road.

Key
LHS – Left Hand Side
RHS – Right Hand Side
E - Existing

AREA K

Properties in Area K	Possible Development		Maximum Size			Character			Comments "K"
Zone: QVV and QVR	New	Renovation	Total Height (Storeys)	Possible Lateral Expansion	Total Foot Print	Form	Appearance	Site	
K1		YES	2	RHS	+25%	Sch. B	Sch. B	Sch. B	Permit only if roof is changed
K2		YES	1 ½	RHS	900 SF	Sch. B	Sch. B	Sch. B	Permit only if roof is changed
K2A	YES		1 ½		900 SF	Sch. B	Sch. B	Sch. B	Subject to detailed design
K3	NO								
K4 (#128)	NO	YES	1 ½	BACK	+25%	Sch. B	Sch. C	Sch. C	
K4A	YES		1 ½		900 SF	Sch. B	Sch. C	Sch. C	Subject to location analysis
K5 (#121)	NO	YES	1 ½	YES	+25%	Sch. B	Sch. C	Sch. C	
K5A	YES		1 ½		900 SF	Sch. B	Sch. C	Sch. C	Subject to location analysis

Key
LHS – Left Hand Side
RHS – Right Hand Side
E – Existing



AREA K

Area K is located at the end of Barrows Road, and Cuckholds Cove Road, near the entrance to Quidi Vidi Harbour